

PHASE 2 - HISTORIC STABILIZATION

BANDERA COUNTY VISITOR CENTER

100% CONSTRUCTION DOCUMENT



OWNERS

BANDERA COUNTY
500 MAIN STREET
BANDERA, TX 78003
CONTACTS: HONORABLE JUDGE RICHARD EVANS
COMMISSIONER JACK MOSELEY
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jmoseley@banderacounty.org
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ARCHITECT

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Fisher Heck
ARCHITECTS



8/08/24

PROJECT: BANDERA COUNTY VISITOR CENTER

SHEET TITLE: COVER SHEET

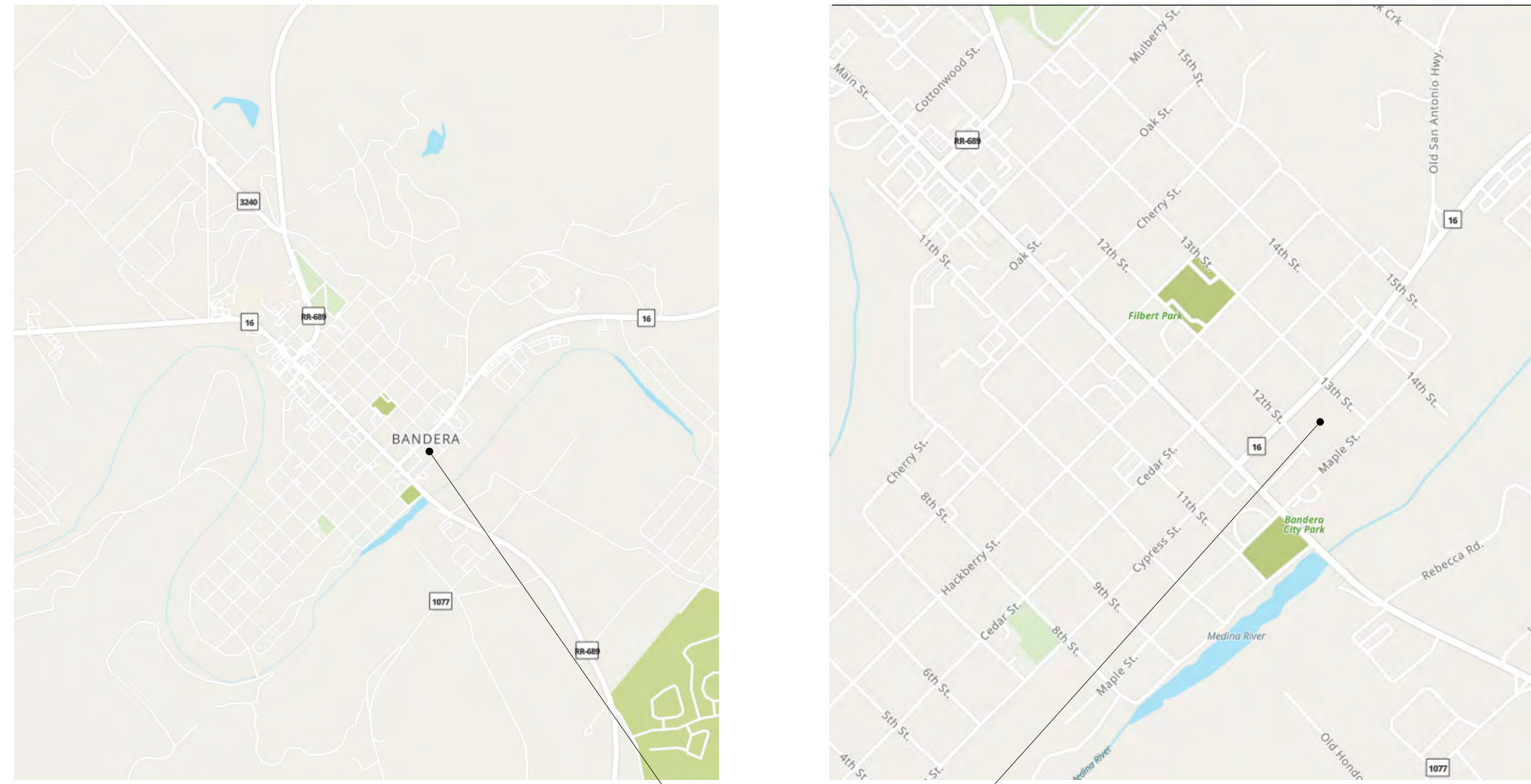
PROJECT NO: 2301 A1

REVISIONS DATE

SHEET NO:

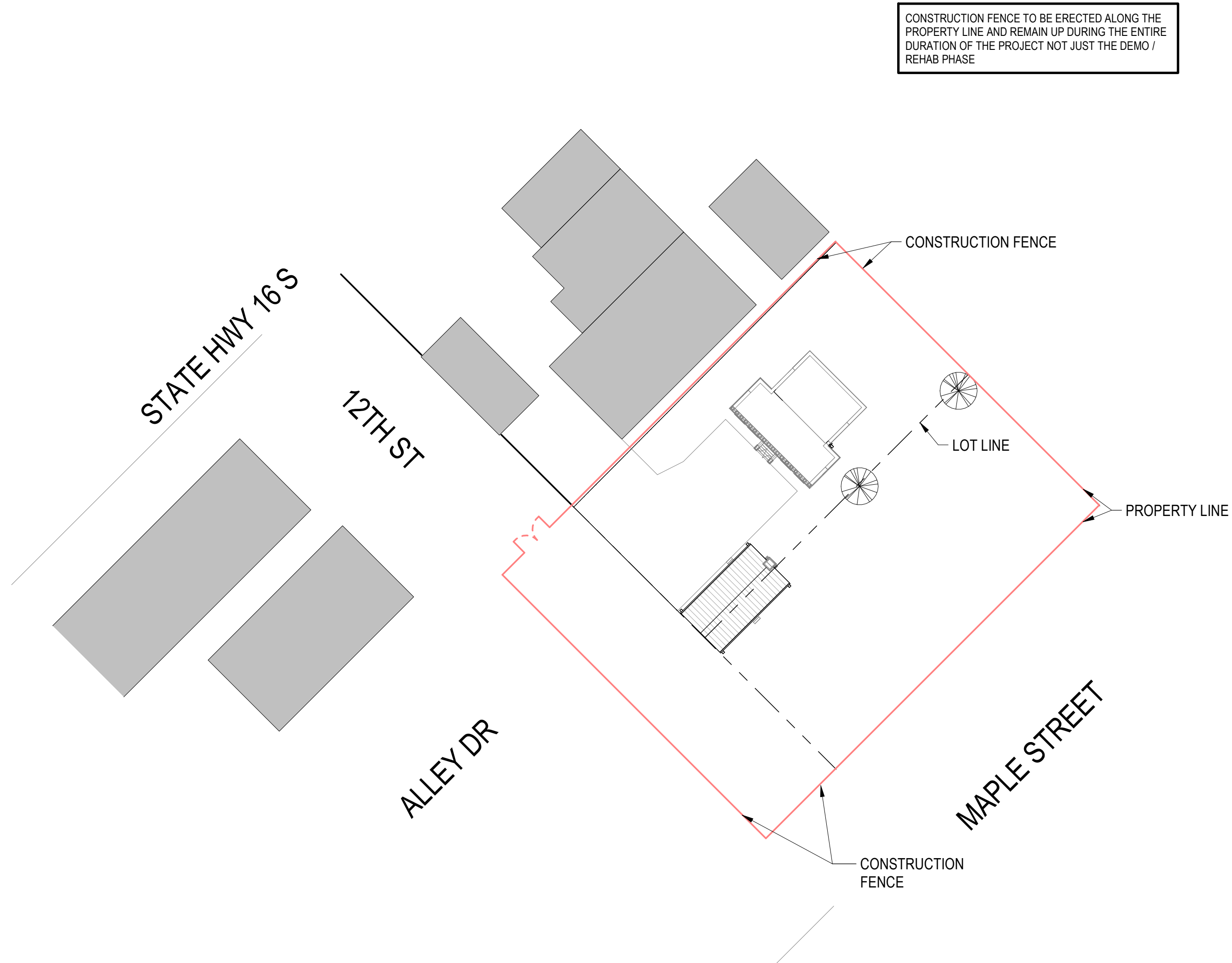
G-100

LOCATION MAPS



BANDERA JAIL VISITOR CENTER
200 12TH ST
BANDERA, TX 78003

CONSTRUCTION SITE PLAN



CONSTRUCTION FENCE TO BE ERECTED ALONG THE PROPERTY LINE AND REMAIN UP DURING THE ENTIRE DURATION OF THE PROJECT NOT JUST THE DEMO / REHAB PHASE

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ARCHITECTURAL

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CODE INFO & ANALYSIS

APPLICABLE CODES AND STANDARDS:

THIS PROJECT IS IN THE CITY OF BANDERA, TEXAS. THE CITY OF BANDERA CURRENTLY HAS ADOPTED THE FOLLOWING CODES WITH LOCAL AMENDMENTS:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2018 NATIONAL ELECTRICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE

1877 COURTHOUSE:

- OCCUPANCY CLASSIFICATION:**
- GROUP B
- CLASSIFICATION OF WORK:**
- ALTERATION - LEVEL 3

CONSTRUCTION CLASSIFICATION:

- TYPE - III-B

AREAS:

- ACTUAL TOTAL AREA (EXISTING) - 1,990 SF

1881 JAIL:

- OCCUPANCY CLASSIFICATION:**
- GROUP B
- CLASSIFICATION OF WORK:**
- ALTERATION - LEVEL 3

CONSTRUCTION CLASSIFICATION:

- TYPE - III-B

AREAS:

- ACTUAL TOTAL AREA (EXISTING) - 2,230 SF

SYMBOLS

&	AND	MAS	MASONRY
@	AT	MAX	MAXIMUM
#	POUND, NUMBER	MDP	MAIN DISTRIBUTION PANEL
€	CENTER LINE	MECH	MECHANICAL
ACT	ACOUSTICAL CEILING	MED	MEDIUM
ADDN	ADDITION	MFR	MANUFACTURER
ADDNL	ADDITIONAL	MH	MANHOLE
ADJ	ADJUSTABLE	MN	MINIMUM
AFF	ABOVE FINISHED FLOORS	MISC	MISCELLANEOUS
AHU	AIR HANDLING UNIT	MO	MASONRY OPENING
ALT	ALTERNATE	MTD	MOUNTED
ALUM	ALUMINIUM	MTL	METAL
APPROX	APPROXIMATE	N	NORTH
ARCH	ARCHITECT, ARCHITECTURE	NIC	NOT IN CONTRACT
B.O.	BOTTOM OF	NO	NUMBER
BCS	BABY CHANGING STATION	NOM	NOMINAL
BD	BOARD	NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
CFM	CUBIC FEET PER MINUTE	OD	OUTSIDE DIAMETER
CFT	CERAMIC FLOOR TILE	O.H.	OPPOSITE HAND
CJ	CONTROL JOINT	OSPP	OPPOSITE
CFA	CLEAR FLOOR AREA	OZ	OUNCE
CLLG	CEILING	P	PAINT
CLR	CLEAR	PCF	POUNDS PER CUBIC FOOT
CMU	CONCRETE MASONRY UNIT	PERF	PERFORATED
CO	CLEAN OUT	PL	PLATE
COL	COLUMN	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLUM	PLUMBING
CONST CONT	CONSTRUCTION-CONTINUOUS	PLF	POUNDS PER LINEAR FOOT
CPT	CARPET	PLYWD	PLYWOOD
CPTB	CARPET BASE	PR	PART
CTB	CERAMIC TILE BASE	PSF	POUNDS PER SQUARE FOOT
CWT	CERAMIC WALL TILE	PSI	POUNDS PER SQUARE INCH
CU	CONDENSING UNIT	PT	POINT
CUH	CABINET UNIT HEATER	PTD	PAINTED
CW	COLD WATER	PVC	POLYVINYL CHLORIDE
DTL	DETAIL	PVMT	PAVEMENT
DIA	DIAMETER	QT	QUARRY TILE
DIM	DIMENSION	QTY	QUANTITY
DISP	DISPENSER	R	RISER, RADIUS
DN	DOWN	RB	RUBBER BASE BOARD
DS	DOWNSPOUT	RCP	REFLECTED CEILING PLAN
DW	DUMB WATER	RD	ROOF DRAIN
DWG	DRAWING	RE-	REFER TO
E	EAST	REF	REFRIGERATOR
EA	EACH	REINF	REINFORCE (D)
EJ	EXPANSION JOINT	REQ	REQUIRED
ELEV	ELEVATION	REV	REVISIONS
ELEC	ELECTRICAL	RF	RESILIENT FLOORING
EP	ELECTRICAL PANEL	RH	RIGHT HAND
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RO	ROUGH OPENING
EW	ELECTRIC WATER COOLER	ROW	RIGHT OF WAY
EWH	ELECTRIC WATER HEATER	RS	ROUGH SAWN
EXH	EXHAUST	RTU	ROOF TOP UNIT
EXP	EXPANSION	S	SOUTH
EXT	EXTERIOR	SAN	SANITARY
FA	FIRE ALARM	SAT	SUSPENDED ACOUSTICAL TILE
FACP	FIRE ALARM CONTROL PANEL	SC	SCHEDULE
FD	FLOOR DRAIN, FIRE DAMPER	SCHED	SCHEDULE
FE	FIRE EXTINGUISHER	SECT	SECTION
FEC	FIRE EXTINGUISHER CABINET	SERV	SERVICE
FF	FINISHED FLOOR	SF	SQUARE FEET
FG	FINISHED GRADE	SIM	SIMILAR
FIN	FINISHED	SPEC	SPECIFICATIONS
FIN(ED)	FLOORING	SQ	SQUARE
FLR(G)	FACE OF	SS	STAINLESS STEEL
FO	FACE OF	ST	STORM
FT	FOOT, FEET	STD	STANDARD
FTG	FOOTING	STL	STEEL
FURN	FURNISHED	STRUCT	STRUCTURAL
FWC	FABRIC WALL COVERING	SUSP	SUSPENDED
GA	GAUGE	SWG	STANDARD WIRE GAUGE
GALV	GALVANIZED	SYM	SYMMETRICAL
GC	GENERAL CONTRACTOR	T	TRAD
GFI	GROUND FAULT INTERRUPTER	T&B	TOP AND BOTTOM
GL	GLASS	T&G	TONGUE AND GROOVE
GYP	GYPSUM	TEL	TELEPHONE
HB	HOSE BIBB	TEMP	TEMPERATURE, TEMPERED
HC	HOLLOW CORE	THK	THICK (NESS)
HWD	HARDWOOD	T.O.	TOP OF
HD	HIGH INTENSITY DISCHARGE	TYP	TYPICAL
HM	HOLLOW METAL	TV	TELEVISION
HORIZ	HORIZONTAL	UG	UNDERGROUND
HVAC	HEAT, VENT, A/C	UH	UNIT HEATER
HW	HOT WATER	UNO	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	VB	VINYL BASE BOARD
INCL	INCLUDING	VCT	VINYL COMPOSITION TILE
INT	INTERIOR	VERT	VERTICAL
INV	INVERT	VIF	VERIFY IN FIELD
JB	JUNCTION BOX	VWC	VINYL WALL COVERING
JST	JOIST	W	WEST
K	KIP (1,000 POUNDS)	W	WITH
LAM	LAMINATED	W/O	WITHOUT
LAV	LAVATORY	WB	WOOD BASE BOARD
LB	POUND	WC	WATER CLOSET
LF	LINEAR FEET	WD	WOOD
LH	LEFT HAND	WH	WATER HEATER
LL	LIVE LOAD	WP	WATERPROOF, WORK POINT
LLH	LONG LEG HORIZONTAL	WT	WEIGHT
LLV	LONG LEG VERTICAL	WWF	WELDED WIRE FABRIC
LP	LIGHTNING PANEL	YD	YARD
LTWT	LIGHTWEIGHT		

ABBREVIATIONS

NAME	ROOM NAME DESIGNATION	EXISTING CONSTRUCTION
101		
1	WINDOW DESIGNATION	EXISTING WALL CONSTRUCTION
101		
101	DOOR DESIGNATION	NEW CONSTRUCTION
1		
1	EXTERIOR ELEVATION DESIGNATION	NEW FRAMED WALL CONSTRUCTION
1		
1	DETAIL NUMBER	NEW CONCRETE WALL CONSTRUCTION
1	SHEET REFERENCE	
1		
1	INTERIOR ELEVATION DESIGNATION	OBJECT TO BE DEMOLISHED
1		
1	DETAIL NUMBER	WALL TO BE DEMOLISHED
1	SHEET REFERENCE	
1		
1	BUILDING SECTION DESIGNATION	WALL PARTITION TYPE
1		
1	DETAIL NUMBER	KEYNOTE DESIGNATION
1	SHEET REFERENCE	
1		
1	SECTION DETAIL DESIGNATION	TOILET ACCESSORY DESIGNATION
1		
1	DETAIL NUMBER	
1	SHEET REFERENCE	
1		
1	ENLARGED DETAIL DESIGNATION	
1		
1	DETAIL NUMBER	
1	SHEET REFERENCE	
1		

GENERAL NOTES

- THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
- ALL NOTES REFERENCE NEW WORK UNLESS NOTED AS EXISTING.
- PATCH ALL SURFACES AND AREAS AFFECTED BY DEMOLITION AND PREPARE FOR REHABILITATION.
- THE EXTENT OF DEMOLITION WORK IS SHOWN ON THE DRAWINGS. IT IS NOT POSSIBLE TO SHOW REQUIRED DEMOLITION, REMODELING AND PATCHING IN EVERY DETAIL. THE CONTRACTOR SHALL VISIT THE FACILITY TO DETERMINE THE EXTENT OF DEMOLITION AND REMODELING WORK, AND TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ADDITIONAL WORK REQUIRED AS A RESULT OF THE WORK INDICATED HEREIN OR FOR PATCHING REQUIRED AS A RESULT OF NEW WORK, REMODELING OR DEMOLITION.
- IT IS NOT POSSIBLE FOR THE ARCHITECT TO NOTE ALL DETERIORATED CONDITIONS. THE CONTRACTOR SHALL VISIT THE FACILITY TO DETERMINE THE CONDITION OF STRUCTURAL FRAMING AND OTHER STRUCTURAL MEMBERS WHICH ARE VISIBLE AT THE TIME OF SITE VISIT. THE CONTRACTOR WILL NOTIFY ARCHITECT AND OWNER IF STRUCTURAL MEMBERS ARE FOUND TO BE AT A DETERIORATED STATE.
- UNLESS SPECIFICALLY DESIGNATED FOR SALVAGE, DEMOLITION INCLUDES REMOVAL AND DISPOSAL OF DEMOLISHED MATERIALS. CONTRACTOR SHALL PROVIDE SUITABLE MEANS FOR DISPOSAL OF DEMOLISHED MATERIALS AND CONSTRUCTION DEBRIS.
- ITEMS INDICATED FOR SALVAGE BY OWNER SHALL BE REMOVED BY THE CONTRACTOR AND DELIVERED TO OWNER'S DESIGNATED STORAGE AREA.
- REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION.
- ALL MATERIALS NOT DESIGNATED FOR SALVAGE BY OWNER SHALL BE THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
- REPAIR AT NO COST TO THE OWNER, DAMAGE CAUSED TO ADJACENT AREAS, MATERIALS AND EQUIPMENT BY DEMOLITION AND NEW CONSTRUCTION OPERATIONS.
- ALL WALL CEILING AND FLOOR CONSTRUCTION WHICH IS AFFECTED BY MEP DEMOLITION IS TO BE PATCHED AND PREPARED FOR NEXT PHASE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING SHORING REQUIREMENTS IF NECESSARY.
- THE GENERAL AND SUBCONTRACTOR(S) MUST COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE, AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES.

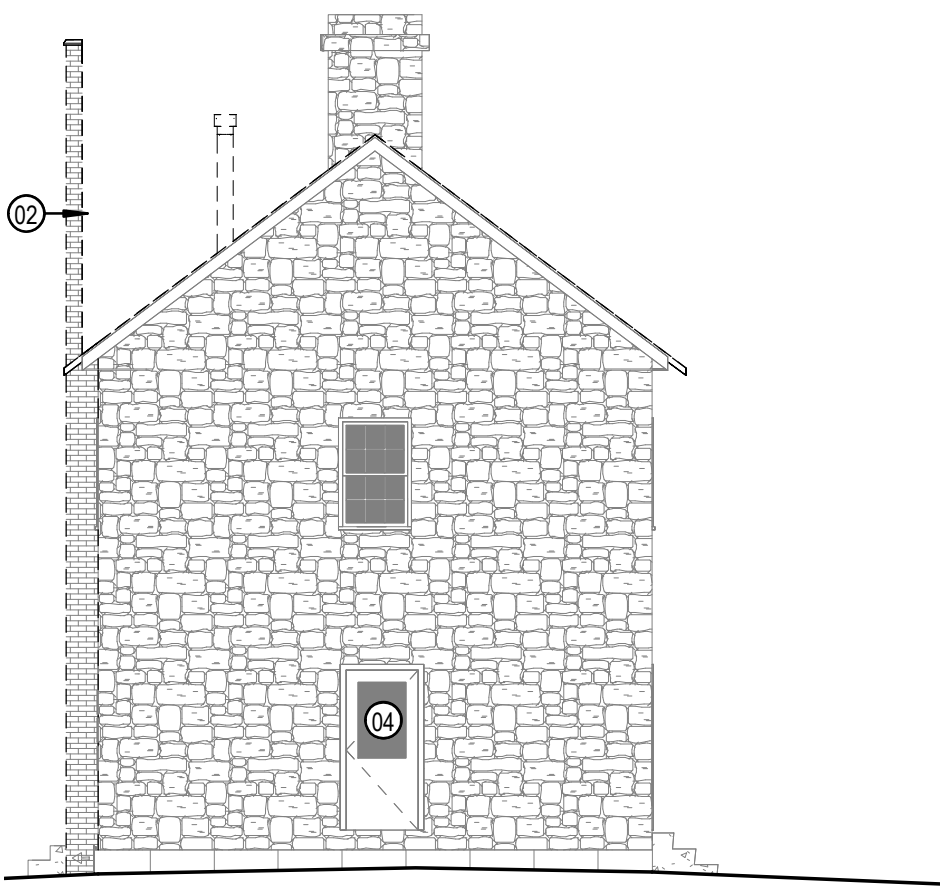


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SHEET TITLE: SHEET INDEX & GENERAL PROJECT INFORMATION

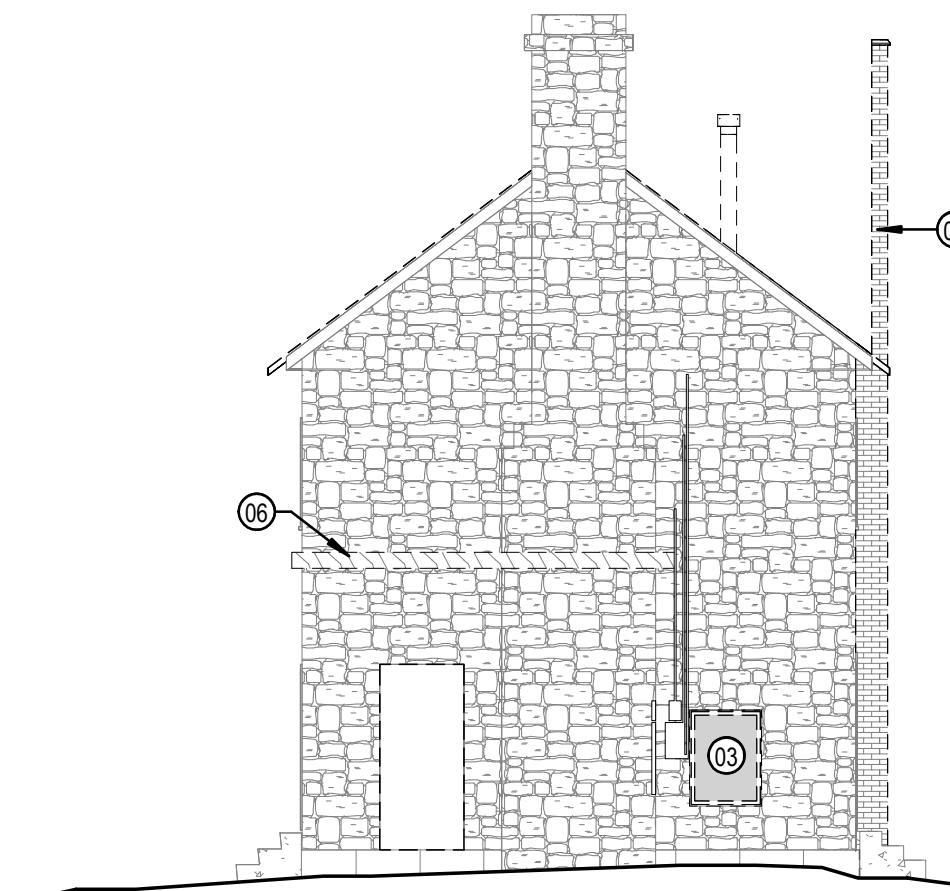
PROJECT NO: 2301 A1

REVISIONS DATE

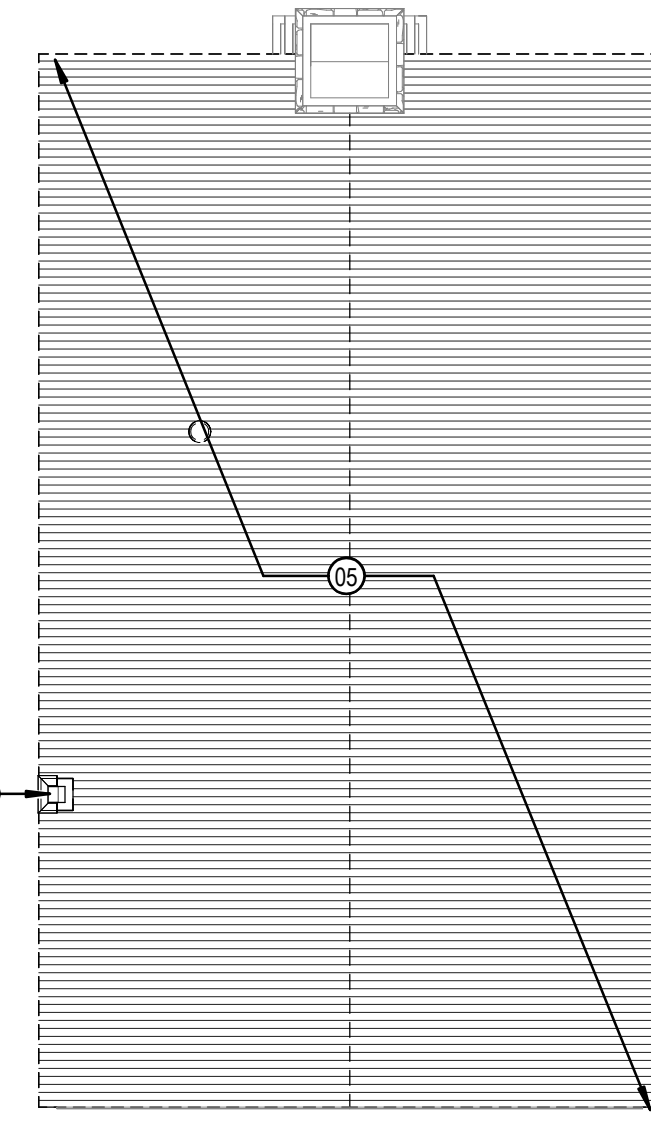
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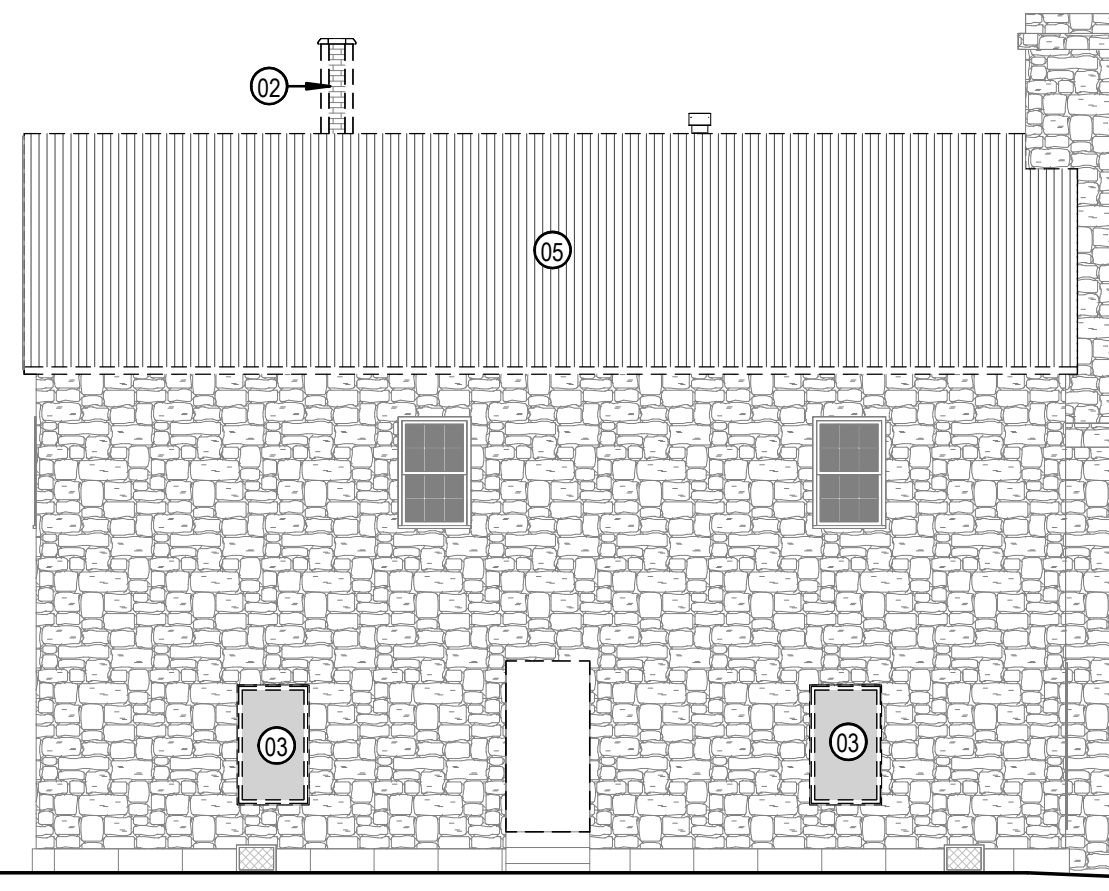
7 1877 COURTHOUSE-DEMOLITION-SOUTH ELEVATION
1/8" = 1'-0"



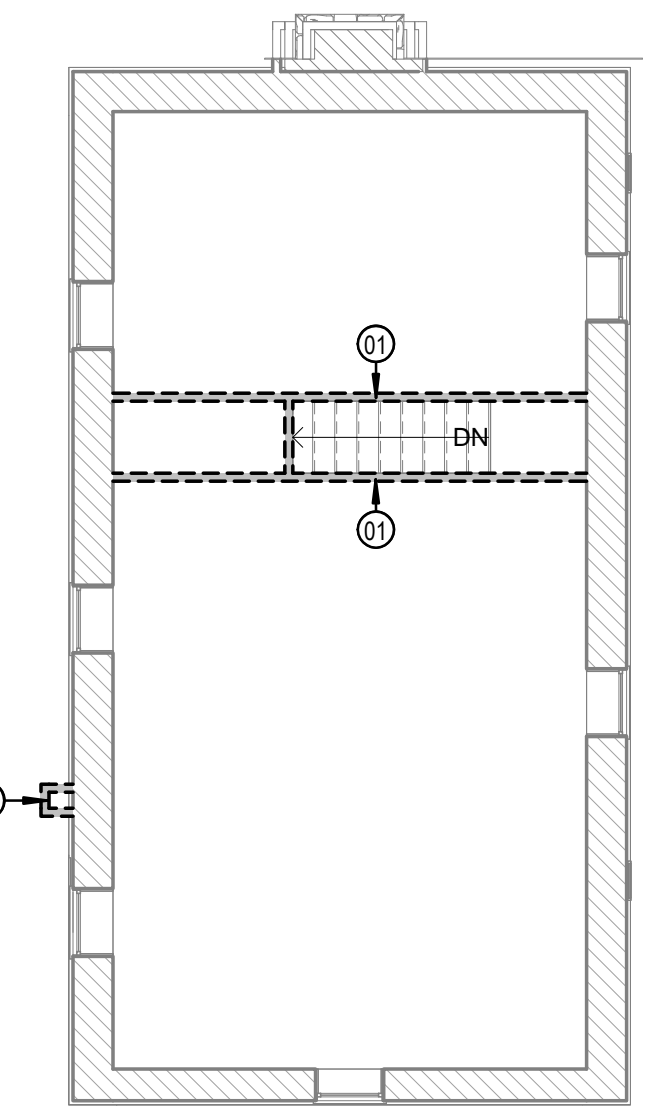
6 1877 COURTHOUSE-DEMOLITION-NORTH ELEVATION
1/8" = 1'-0"



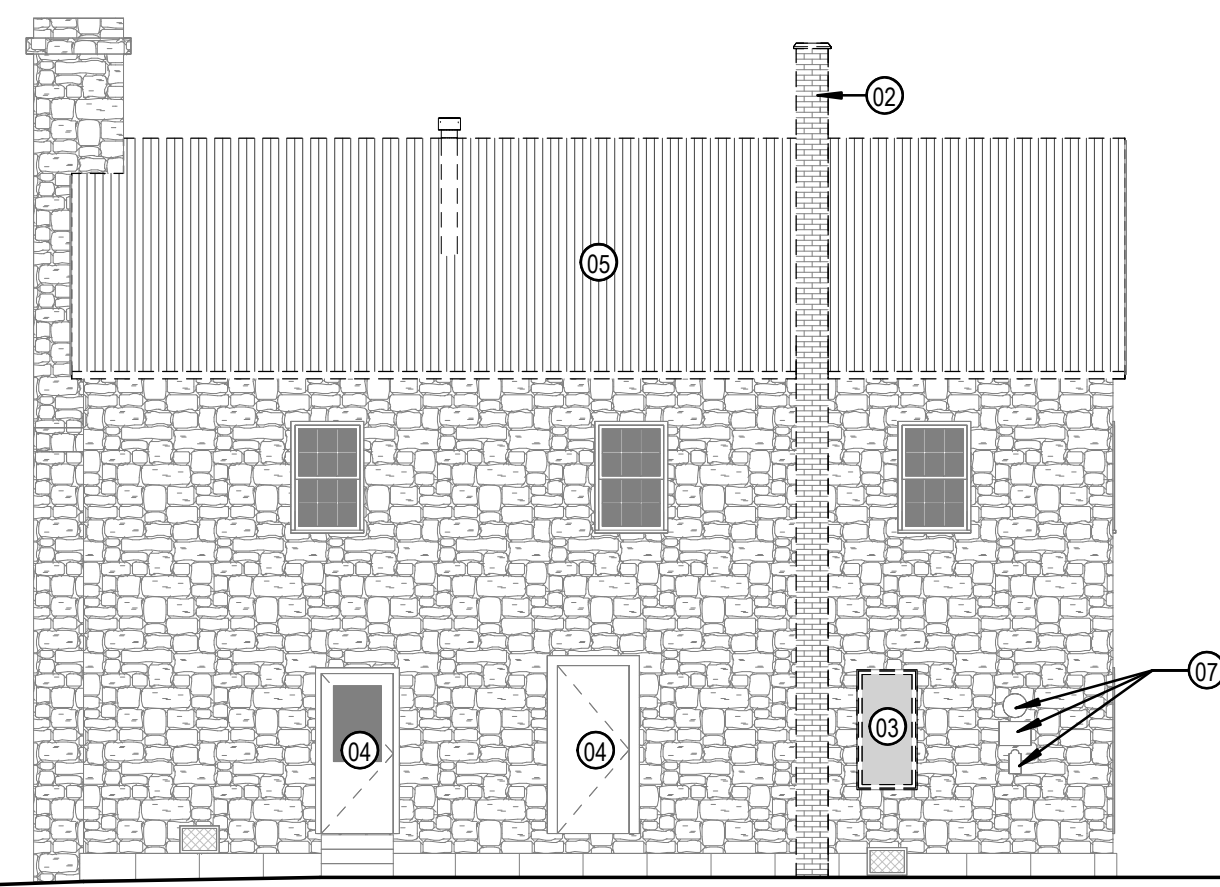
3 1877 COURTHOUSE-DEMOLITION-ROOF
1/8" = 1'-0"



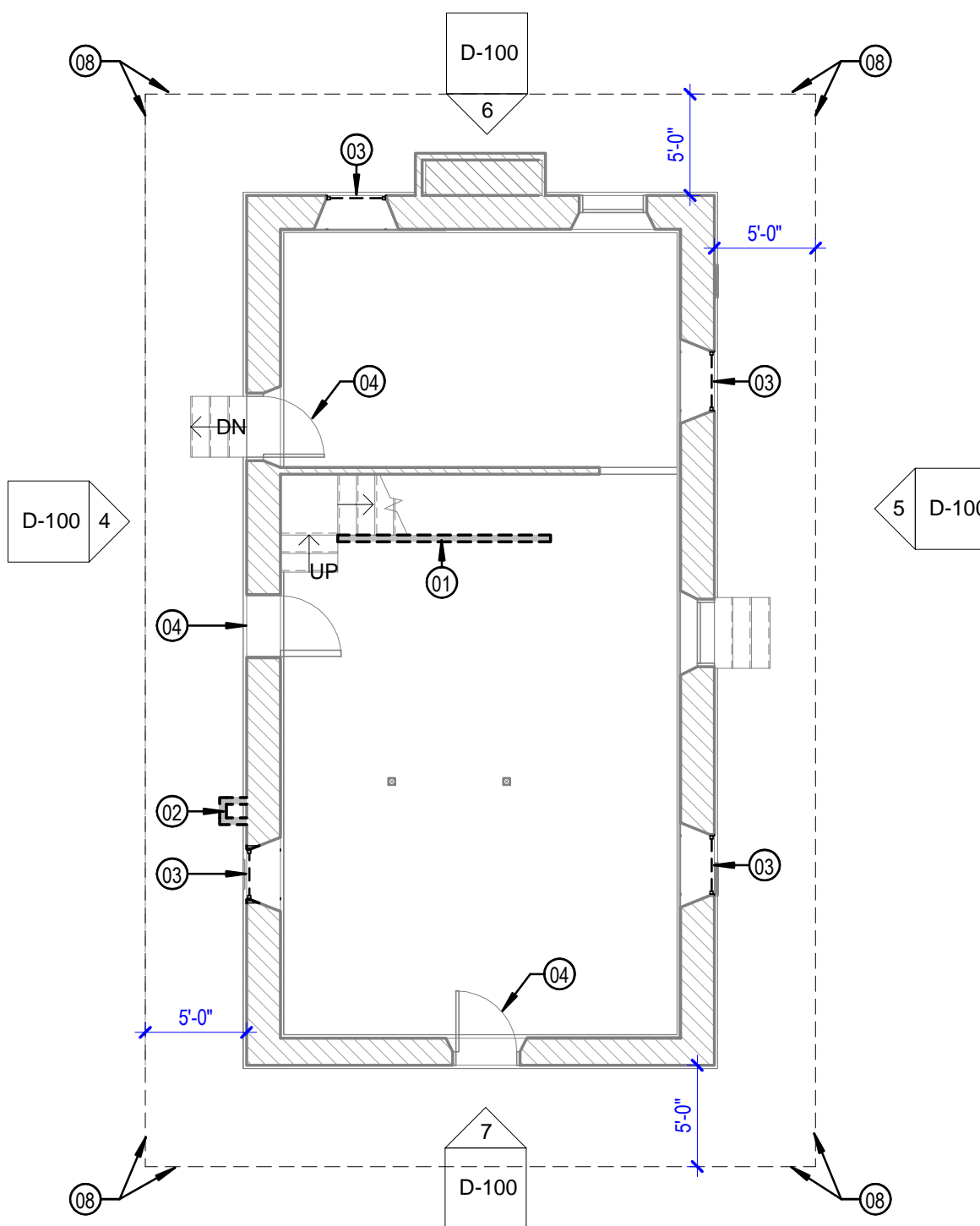
5 1877 COURTHOUSE-DEMOLITION-EAST ELEVATION
1/8" = 1'-0"



2 1877 COURTHOUSE-DEMOLITION-SECOND FLOOR
1/8" = 1'-0"



4 1877 COURTHOUSE-DEMOLITION-WEST ELEVATION
1/8" = 1'-0"



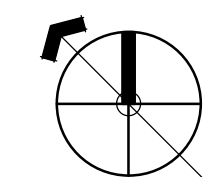
1 1877 COURTHOUSE-DEMOLITION-FIRST FLOOR
1/8" = 1'-0"

GENERAL NOTES

1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
3. ELEMENTS NOTED WITHIN KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY, CONTRACTOR TO VERIFY ANY ADDITIONAL DETERIORATION.
4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
6. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
7. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM; EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED, PROTECT DURING CONSTRUCTION.

KEYNOTES

- 01 DEMO WOOD STUD WALL AFTER REHABILITATION WORK HAS BEEN COMPLETED; PREP AREA TO RECEIVE TEMPORARY STAIR RAIL
- 02 CAREFULLY DECONSTRUCT NON-ORIGINAL BRICK MASONRY CHIMNEY. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE CHIMNEY, SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASED MORTAR
- 03 DEMO NON-HISTORIC METAL FRAMED WINDOW. PREP OPENING TO RECEIVE REPLICA WOOD WINDOW.
- 04 PROTECT DOOR DURING CONSTRUCTION
- 05 DEMO METAL ROOF, WOOD UNDERLAYMENT AND INSULATION; WOOD RAFTERS IN GOOD CONDITION MAY REMAIN. DETERIORATED RAFTERS MAY REQUIRE REPLACEMENT OR SISTERING. CONTRACTOR TO DETERMINE IN THE FIELD.
- 06 CAREFULLY DEMO REMAINING SHED ROOF AND PREP STONE WALL FOR REPAIR
- 07 CAREFULLY REMOVE HISTORIC PLAQUES AND MARK DOWN EXACT LOCATION FOR RE-PLACEMENT AFTER REHABILITATION WORK IS COMPLETED
- 08 REMOVE ALL VEGETATION WITHIN DESIGNATED AREA AROUND THE BUILDING ENSURE THAT IT WILL NOT REGROW

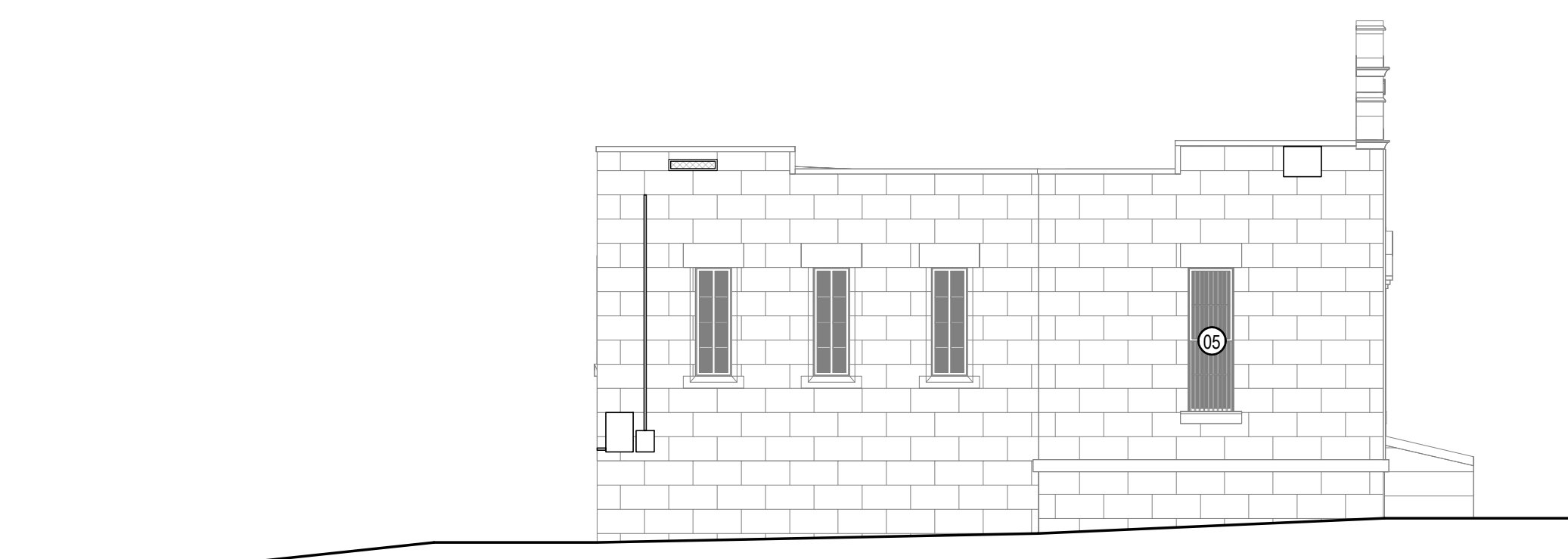


GENERAL NOTES

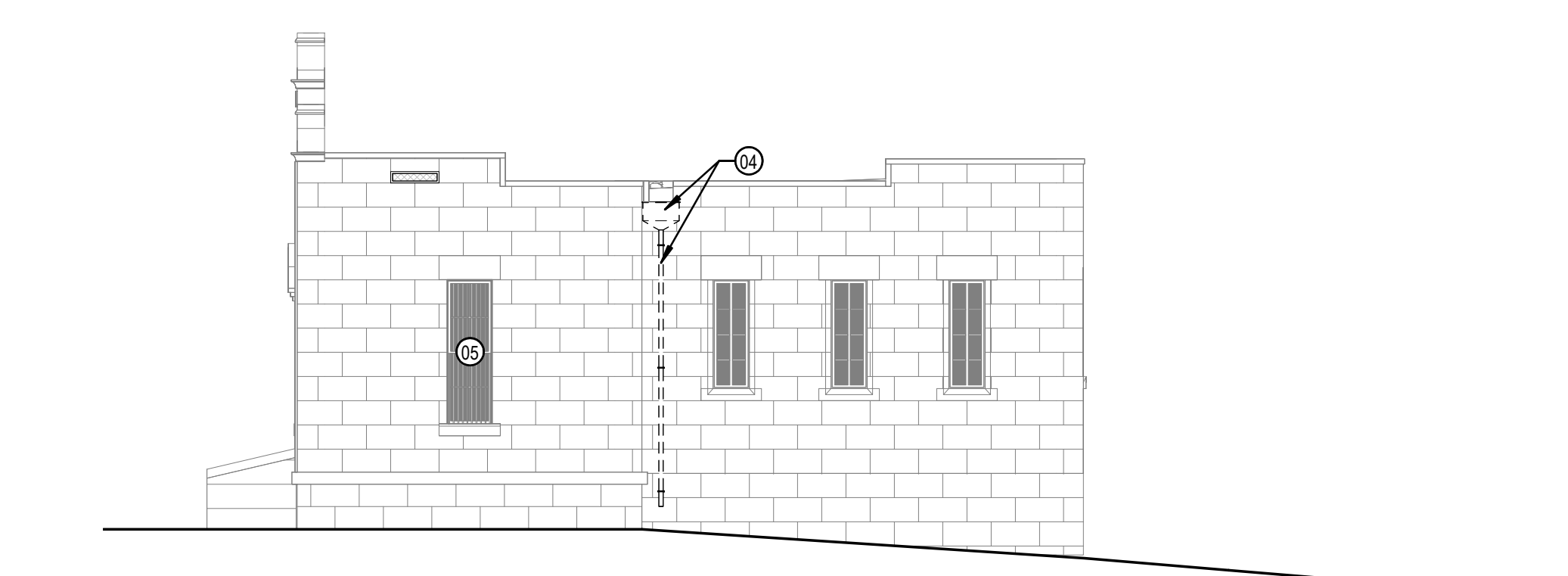
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6. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM; EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED, PROTECT DURING CONSTRUCTION.

KEYNOTES

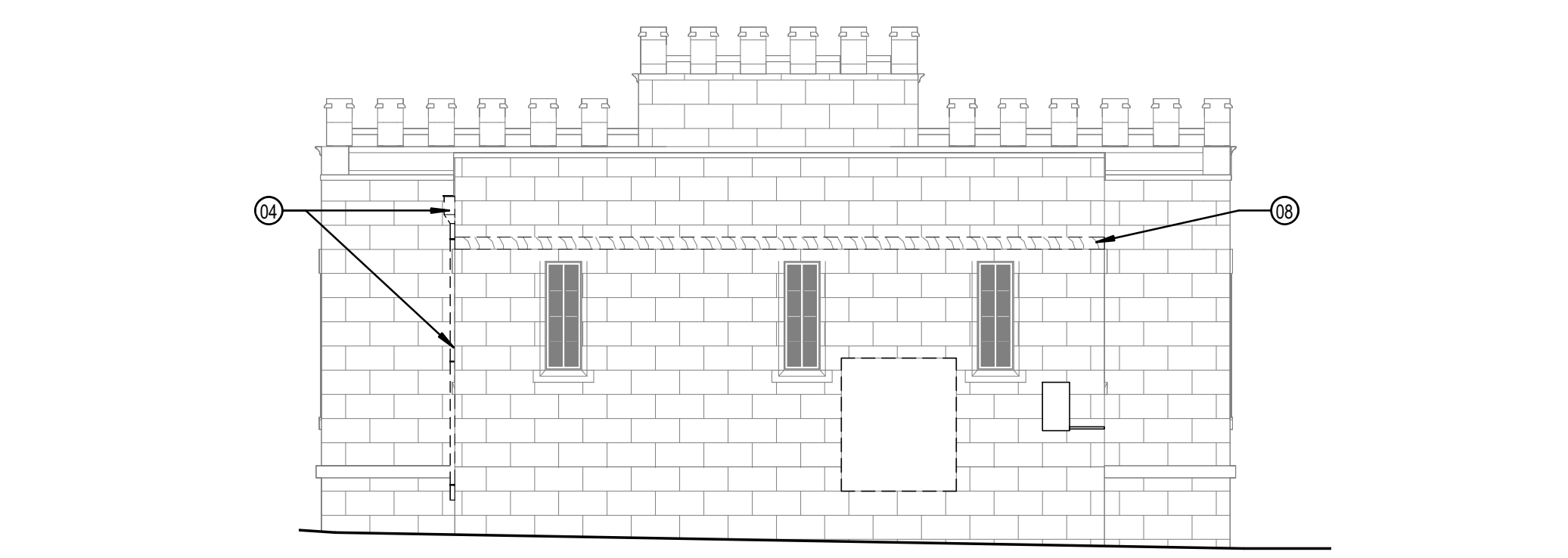
- 01 CAREFULLY REMOVE FLOOR BOARDS AND STORE WITHIN THE BUILDING FOR FUTURE RE-INSTALLATION. JOIST TO REMAIN INPLACE TO HELP STABILIZE WALLS.
- 02 CAREFULLY REMOVE DOOR AND STORE WITHIN THE BUILDING FOR FUTURE RESTORATION AND RE-INSTALLATION. PROTECT FRAME DURING CONSTRUCTION.
- 03 CAREFULLY REMOVE TEMPORARY PLYWOOD WALL AND DOOR WHEN REHABILITATION WORK IS TO START ON HISTORIC JAIL DOORS.
- 04 DEMO SCUPPER AND GUTTER.
- 05 CAREFULLY REMOVE PLYWOOD PROTECTION FROM WINDOWS ONLY WHEN REHAB TREATMENT IS TO COMMENCE.
- 06 CAREFULLY REMOVE HISTORIC PLAQUES AND MARK DOWN EXACT LOCATION FOR RE-PLACEMENT AFTER REHABILITATION WORK IS COMPLETED.
- 07 INSTALL 3/4 INCH PLYWOOD SHEETS TO PROTECT EXISTING CONCRETE FLOOR DURING CONSTRUCTION.
- 08 CAREFULLY DEMO REMAINING SHED ROOF AND PREP STONE WALL FOR REPAIR.
- 09 REMOVE ALL VEGETATION WITHIN DESIGNATED AREA AROUND THE BUILDING ENSURE THAT IT WILL NOT REGROW.



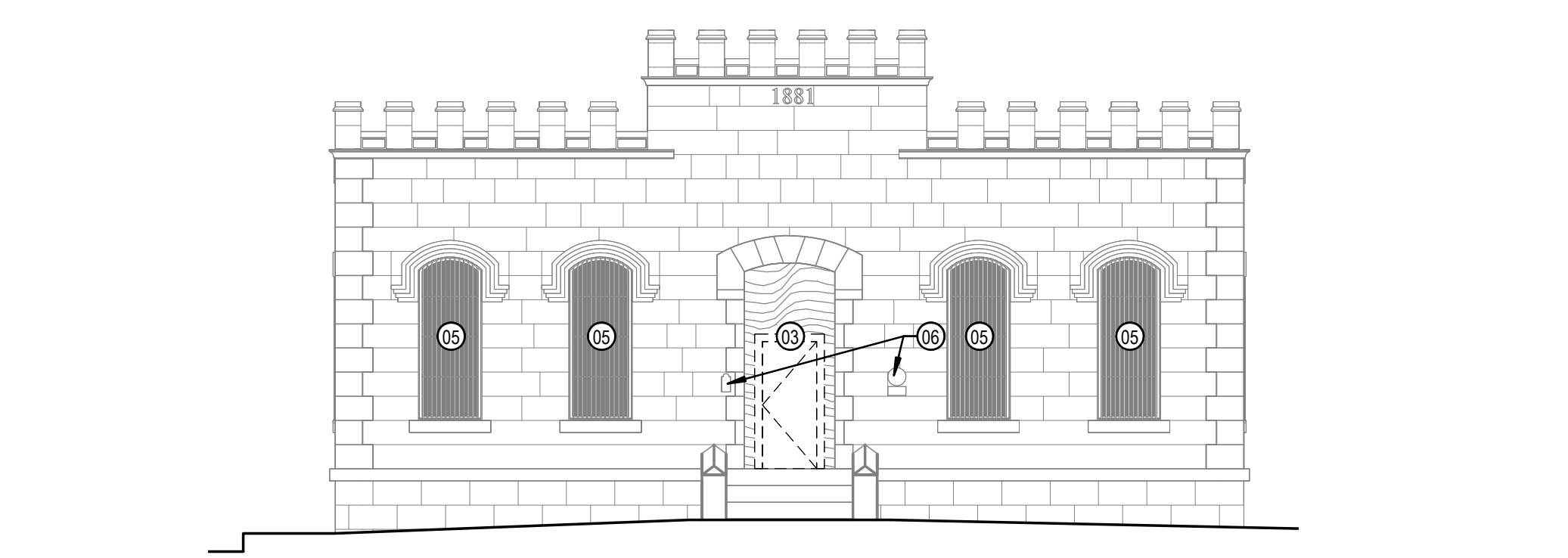
5 1881 JAIL-DEMOLITION-WEST ELEVATION
1/8" = 1'-0"



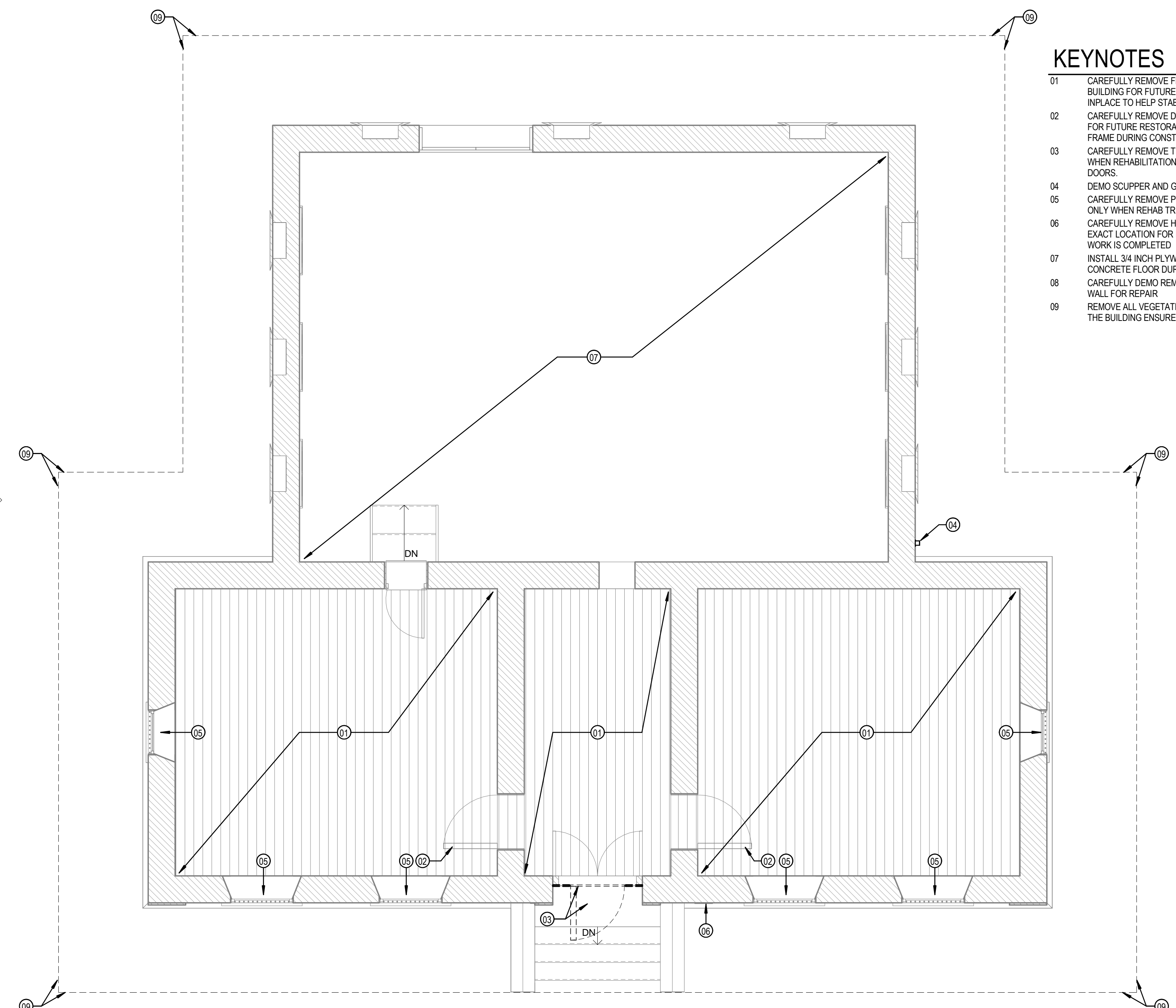
4 1881 JAIL-DEMOLITION-EAST ELEVATION
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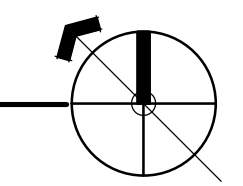
3 1881 JAIL-DEMOLITION-NORTH ELEVATION
1/8" = 1'-0"



2 1881 JAIL-DEMOLITION-SOUTH ELEVATION
1/8" = 1'-0"



1 1881 JAIL-DEMOLITION-FIRST FLOOR
1/4" = 1'-0"



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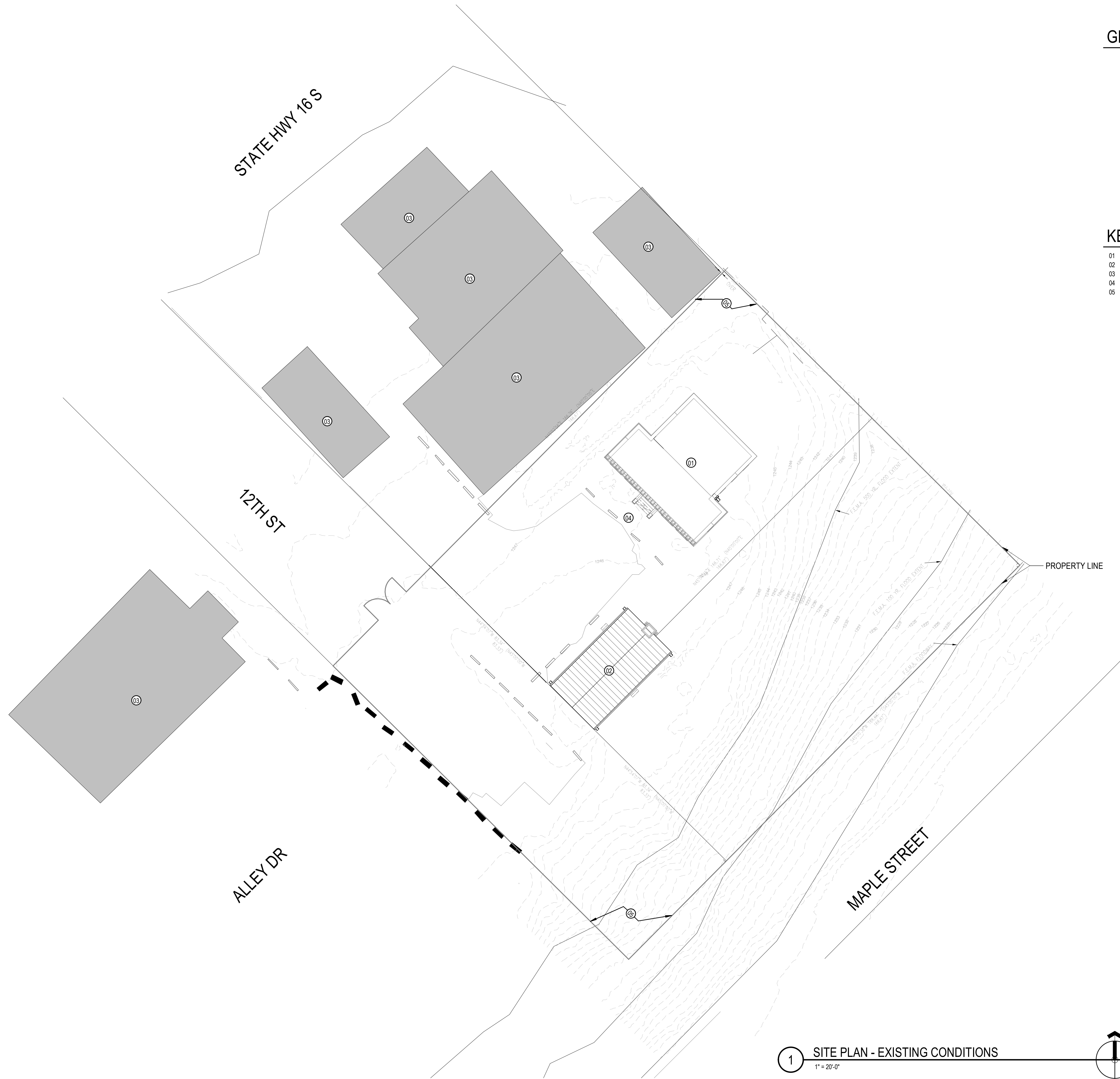
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SHEET TITLE: DEMOLITION PLANS - 1881 JAIL

PROJECT NO: 2301 A1

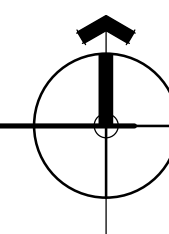
REVISIONS DATE

SHEET NO:
D-101

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1 SITE PLAN - EXISTING CONDITIONS
1" = 20'-0"



GENERAL NOTES

KEYNOTES

- 01 EXISTING HISTORIC JAIL
- 02 EXISTING HISTORIC COURTHOUSE
- 03 PRIVATELY OWNED STRUCTURES, NOT IN CONTRACT
- 04 EXISTING PARKING LOT
- 05 EXISTING CHAIN LINK FENCE

Fisher Heck
ARCHITECTS



8/08/24

915 SOUTH ST. MARY'S STREET
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FISHERHECK.COM
210-298-1500

PROJECT: BANDERA COUNTY VISITOR CENTER

SHEET TITLE: SITE PLAN

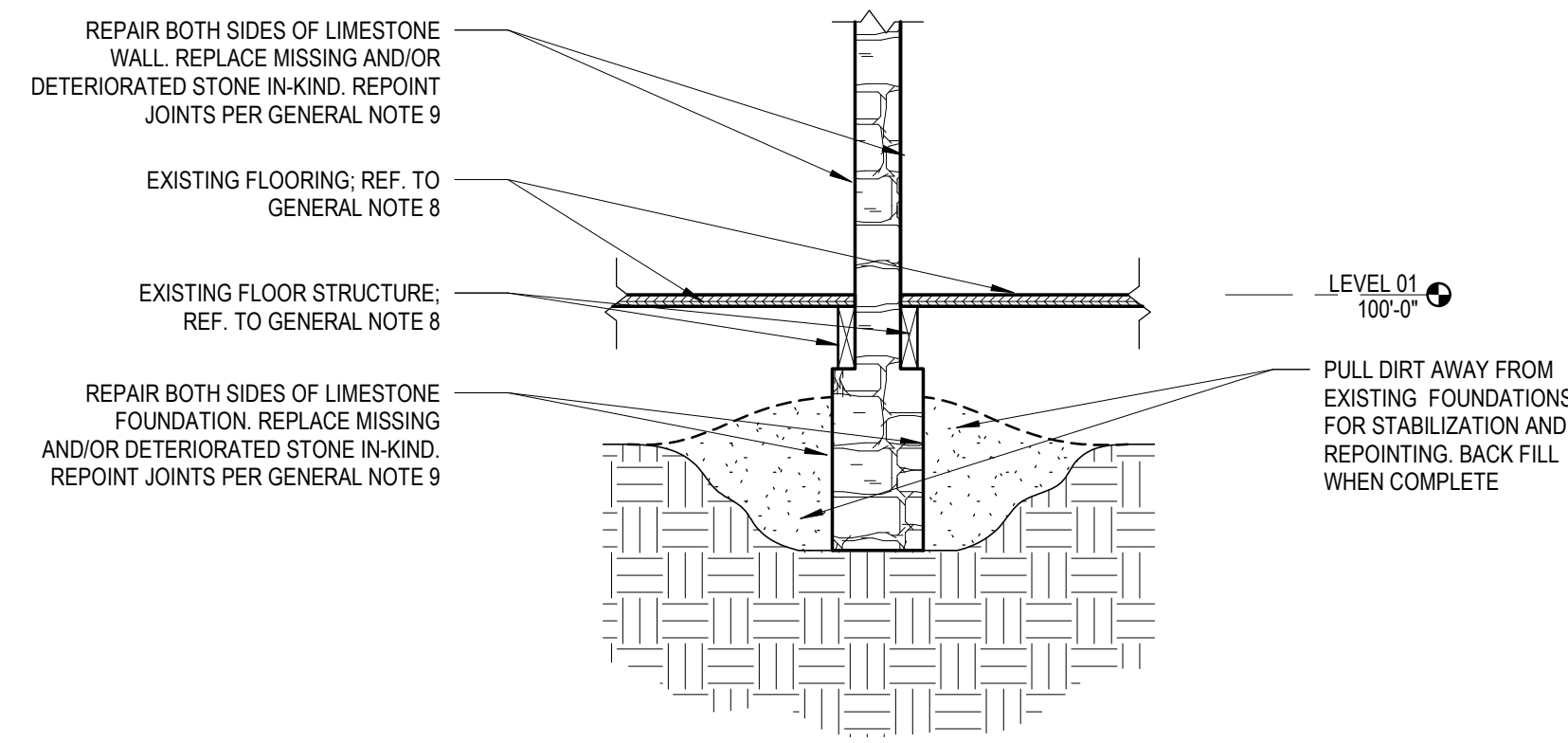
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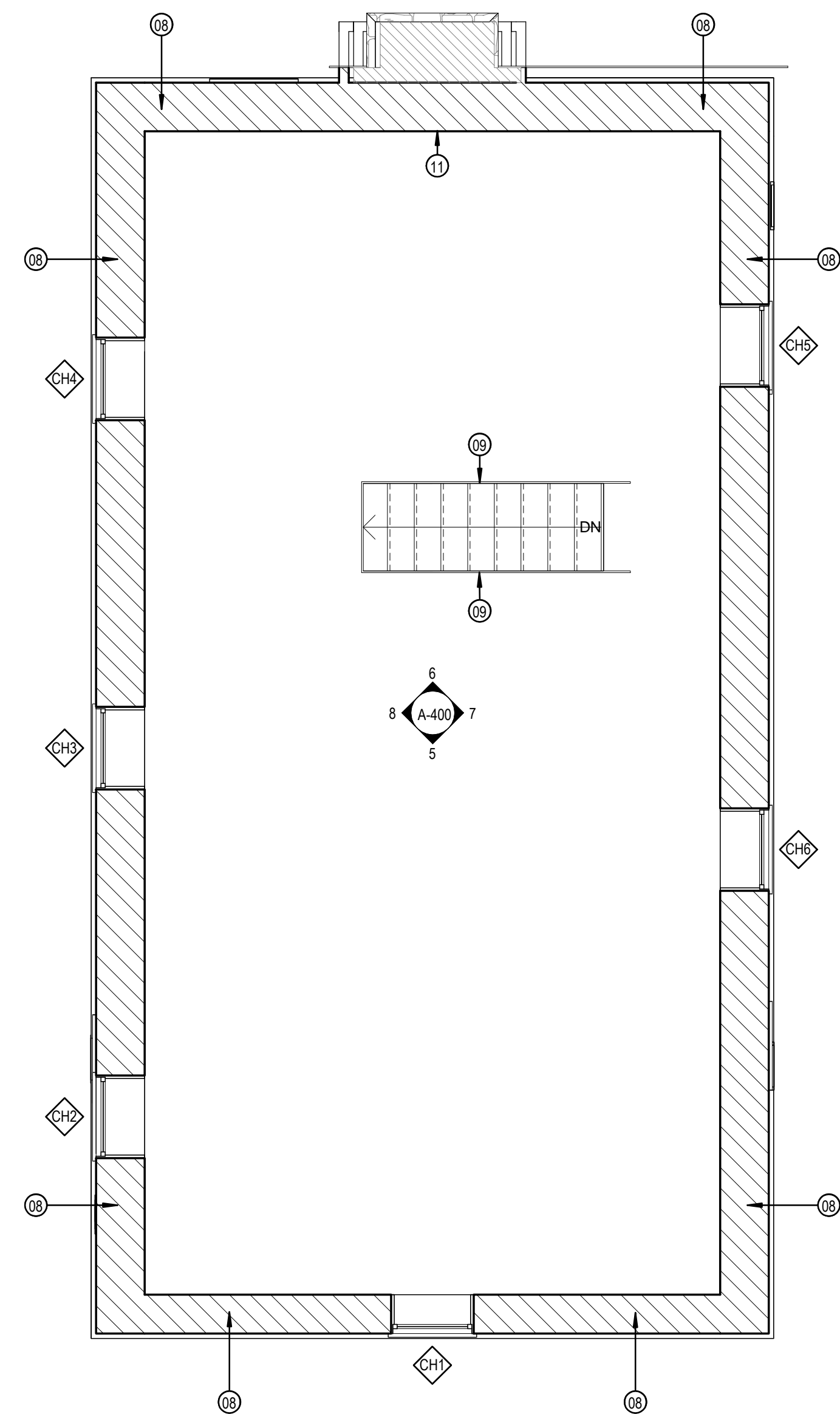
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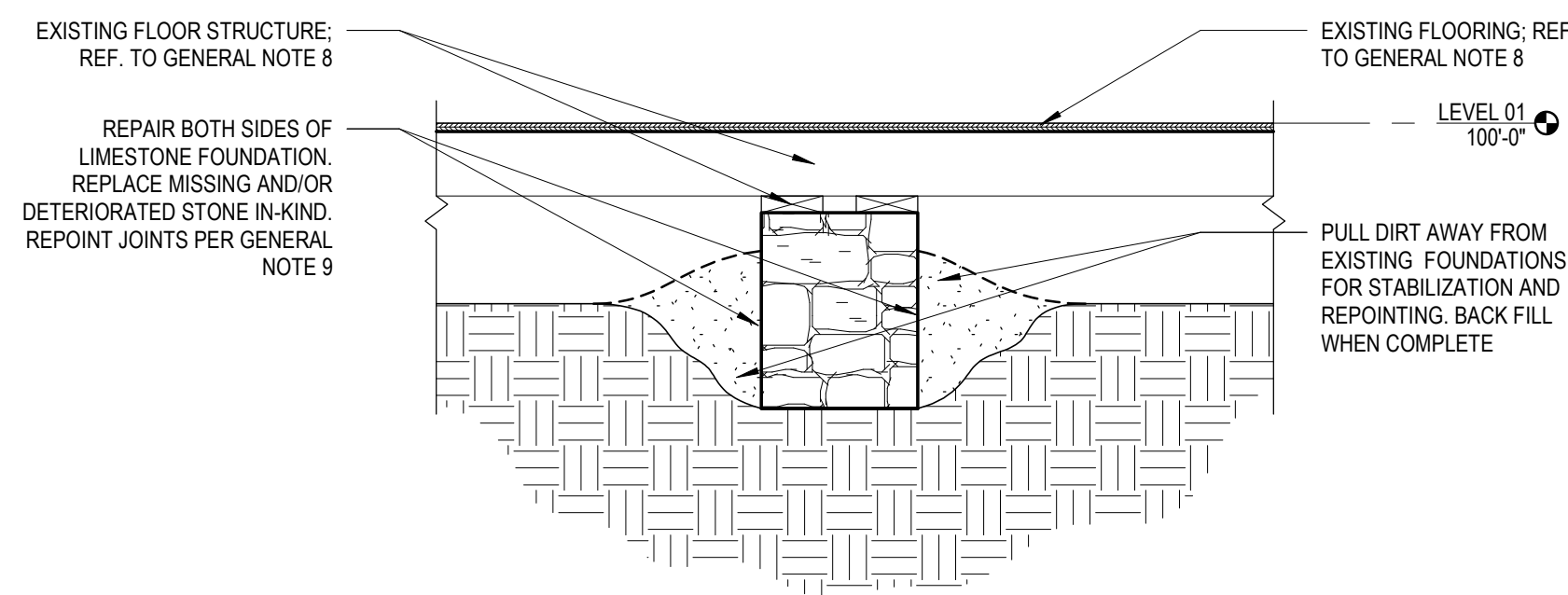
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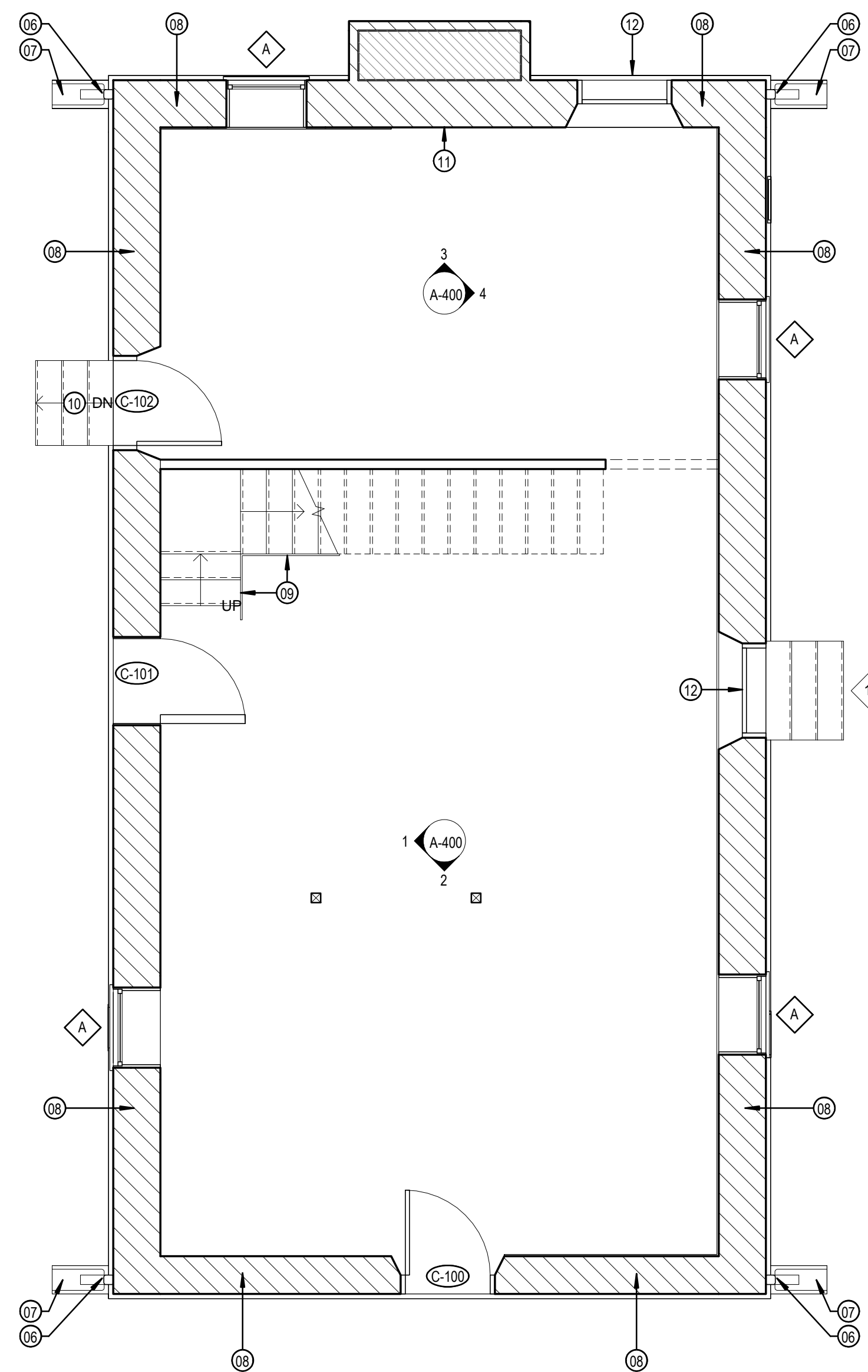
6 SECTION DETAIL
3/4" = 1'-0"



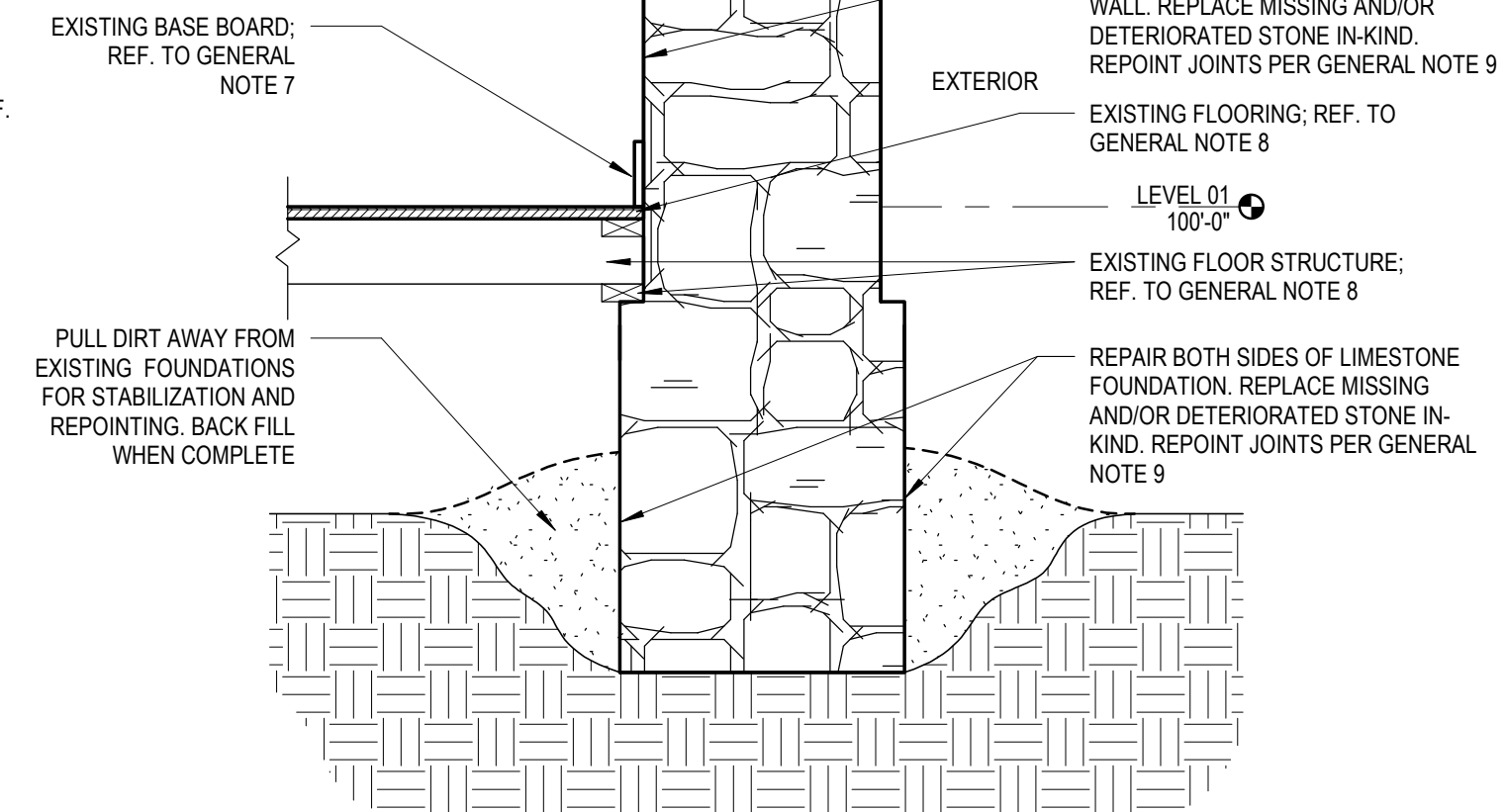
3 1877 COURTHOUSE-REHABILITATION-SECOND FLOOR
1/4" = 1'-0"



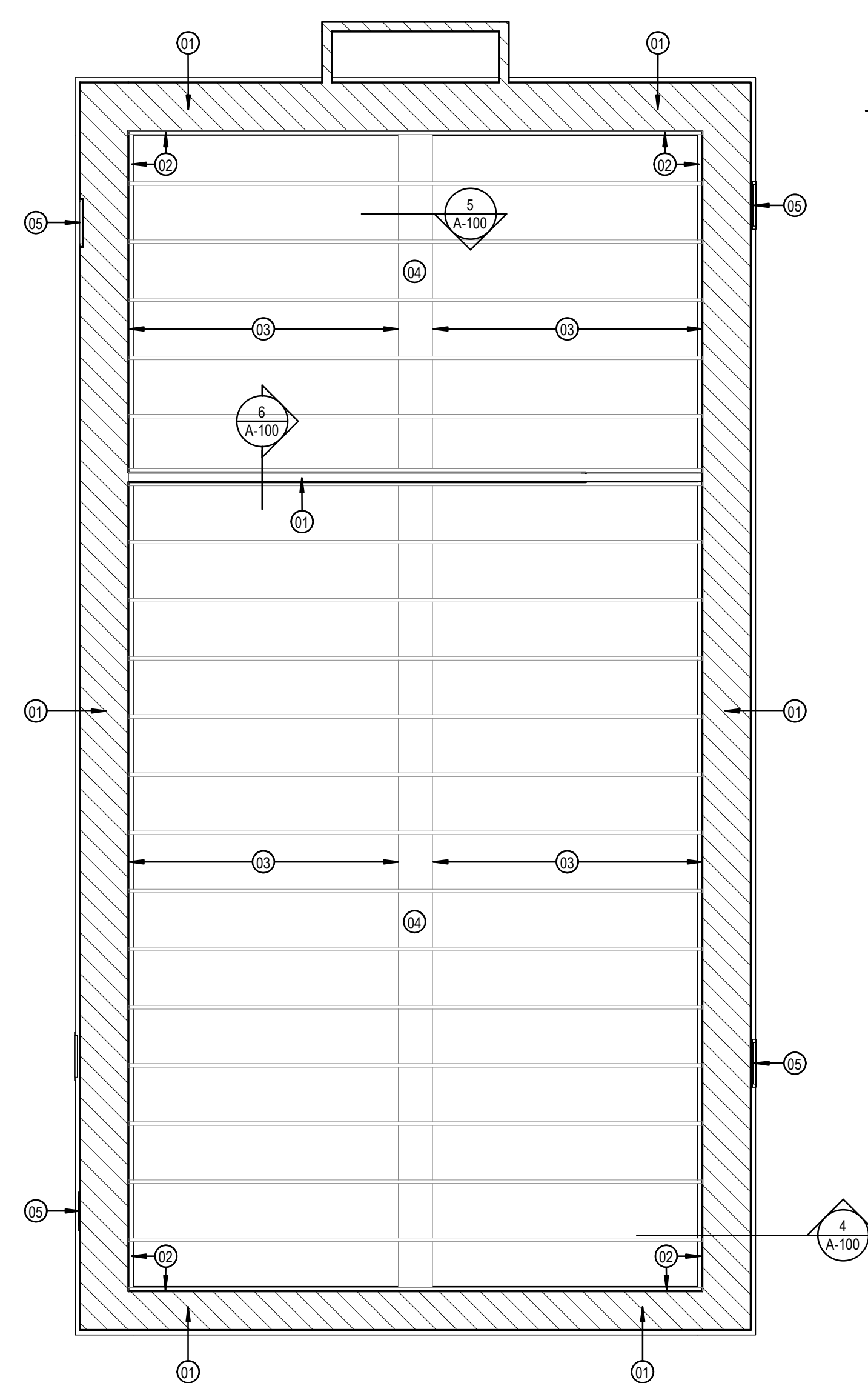
5 SECTION DETAIL
3/4" = 1'-0"



2 1877 COURTHOUSE-REHABILITATION-FIRST FLOOR
1/4" = 1'-0"



4 SECTION DETAIL
3/4" = 1'-0"



1 1877 COURTHOUSE-REHABILITATION-FOUNDATION PLAN
1/4" = 1'-0"

GENERAL NOTES

1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION. ELEMENTS NOTED WITHIN KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY. CONTRACTOR TO VERIFY ANY ADDITIONAL SUBSEQUENT DAMAGE THAT MAY HAVE OCCURRED.
3. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
4. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
5. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
6. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM, EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED. PROTECT DURING CONSTRUCTION.
7. SELECT AREAS OF FLOORING AND FLOOR STRUCTURE MAY NEED TO BE REMOVED DURING REPOINTING AND STABILIZATION OF FOUNDATION WALLS. CONTRACTOR WILL DETERMINE THE EXTENT OF REMOVALS NECESSARY UNDER MEANS AND METHODS. ANY FLOOR STRUCTURE REMOVED WILL BE DONE WITH SENSITIVITY SO IT HAS THE POTENTIAL FOR REUSE. REMOVED MATERIALS WILL BE LABELED AND CAREFULLY STORED WITHIN THE BUILDING.
8. REPOINT 100% OF EXTERIOR AND INTERIOR STONE WALLS. CAREFULLY REMOVE EXISTING MORTAR A MINIMUM OF 2 INCHES FROM FACE OF STONE.
9. REPOINTING MORTAR TO CONSIST OF 4 PARTS BUFF COLORED RIVER SAND, 1 PART LIME, 1/4 PART PORTLAND CEMENT. SOME PORTIONS OF WALL MAY NEED TO BE DISASSEMBLED, SHORED, AND REASSEMBLED USING SAME OR LIKE STONE. ELEVATION SHEETS INDICATE SOME OF THESE AREAS. CONTRACTOR WILL DETERMINE IF ADDITIONAL ARE NEEDED.
10. PROVIDE A TEMPORARY POWER IN EACH BUILDING.
11. PROVIDE A BUCKETLESS PORTABLE COMMERCIAL GRADE DEHUMIDIFIER FOR EACH BUILDING.
12. ALL VISIBLE EXPOSED WOOD SURFACES MUST BE PAINTED TO MATCH EXISTING SURFACE COLOR. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. REFER TO SPECS FOR MORE INFO.

KEYNOTES

- 01 REPAIR AND REPOINT BOTH SIDES OF EXISTING LIMESTONE FOUNDATION TO BOTTOM OF FOUNDATION OR 3'-0" MAX. BELOW GRADE. REPOINTING SHOULD BE DONE IN NO MORE OF 5'-0" SECTIONS AT A TIME.
- 02 CAREFULLY REMOVE ALL WOOD FRAMING. SALVAGE ALL ORIGINAL WOOD THAT REMAINS IN GOOD CONDITION AND STORE FOR REUSE.
- 03 REMOVE DEBRIS FROM CRAWL SPACE. REMOVE SOIL TO EXPOSE SIDES OF LIMESTONE FOOTINGS, AND REPOINT FACES OF FOOTINGS.
- 04 EXISTING STONE FOOTING; REPAIR AND REPOINT TO BOTTOM OF FOUNDATION OF 4'-0" MAX.
- 05 REPAIR AND REFINISH METAL GRILLE; REPLACE IN-KIND WHERE NEEDED.
- 06 GALVALUME 6" DOWNSPOUT TO MATCH GUTTER.
- 07 TYP. PRECAST CONCRETE SPLASH BLOCK 24"Lx10"Wx3"H AT BASE OF DOWNSPOUT.
- 08 REPOINT WALL; REFER TO GENERAL NOTES 9,10,11.
- 09 BUILD TEMPORARY RAIL UP TO SECOND FLOOR.
- 10 PATCH / REPAIR CONCRETE STAIR AS NEEDED.
- 11 REPOINT STONE CHIMNEY'S FIRE BOX AND HEARTH; REFER TO GENERAL NOTES 9,10,11.
- 12 SECURE OPENING WITH 3/4" PRESSURE TREATED PLYWOOD FRAME AND PAINT EXTERIOR FACE WITH SEMI GLOSS PAINT TO MATCH DOORS.

Fisher Heck
ARCHITECTS



8/08/24

PROJECT: BANDERA COUNTY VISITOR CENTER

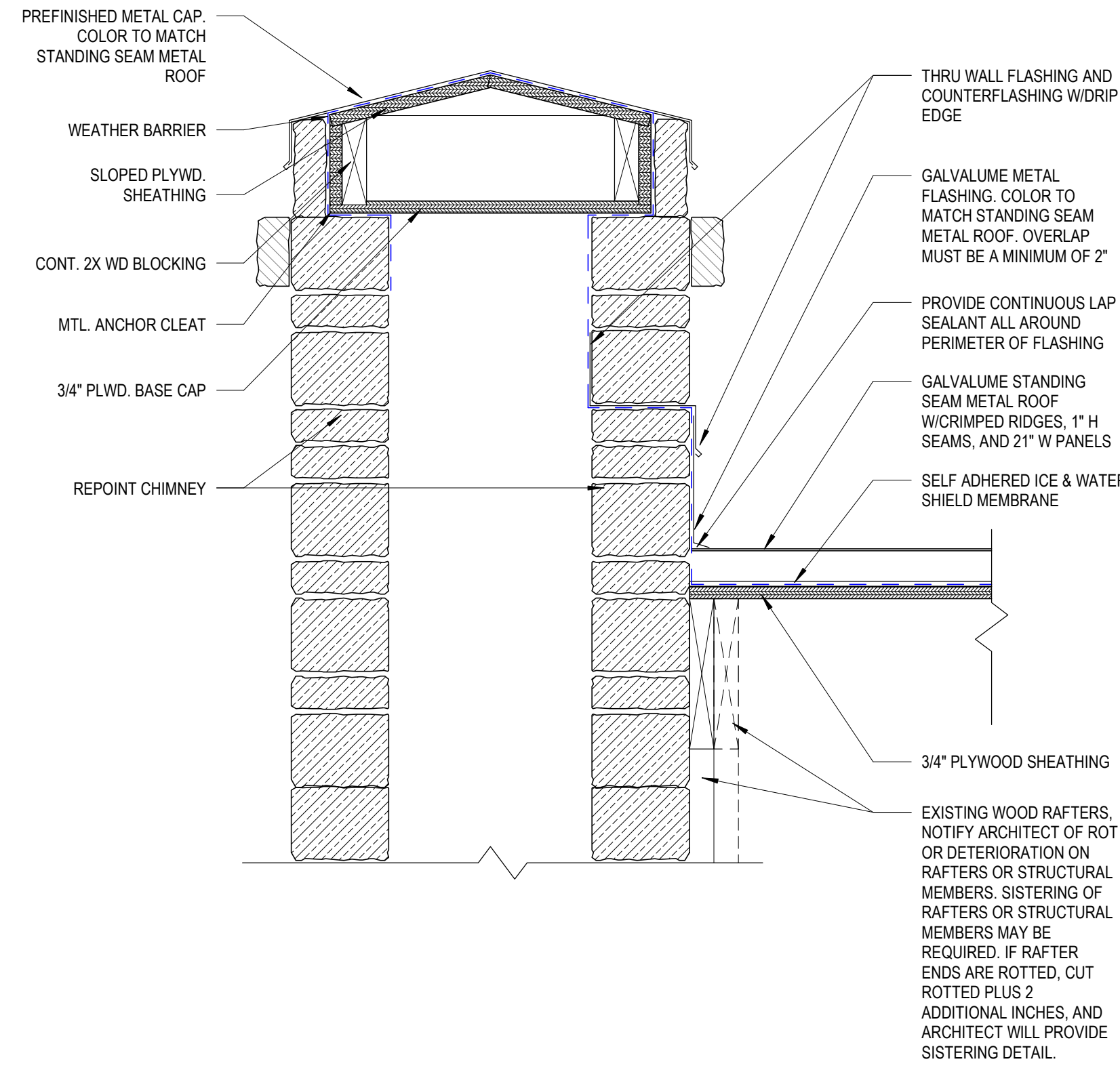
SHEET TITLE: REHABILITATION PLANS - 1877 COURTHOUSE

PROJECT NO: 2301 A1

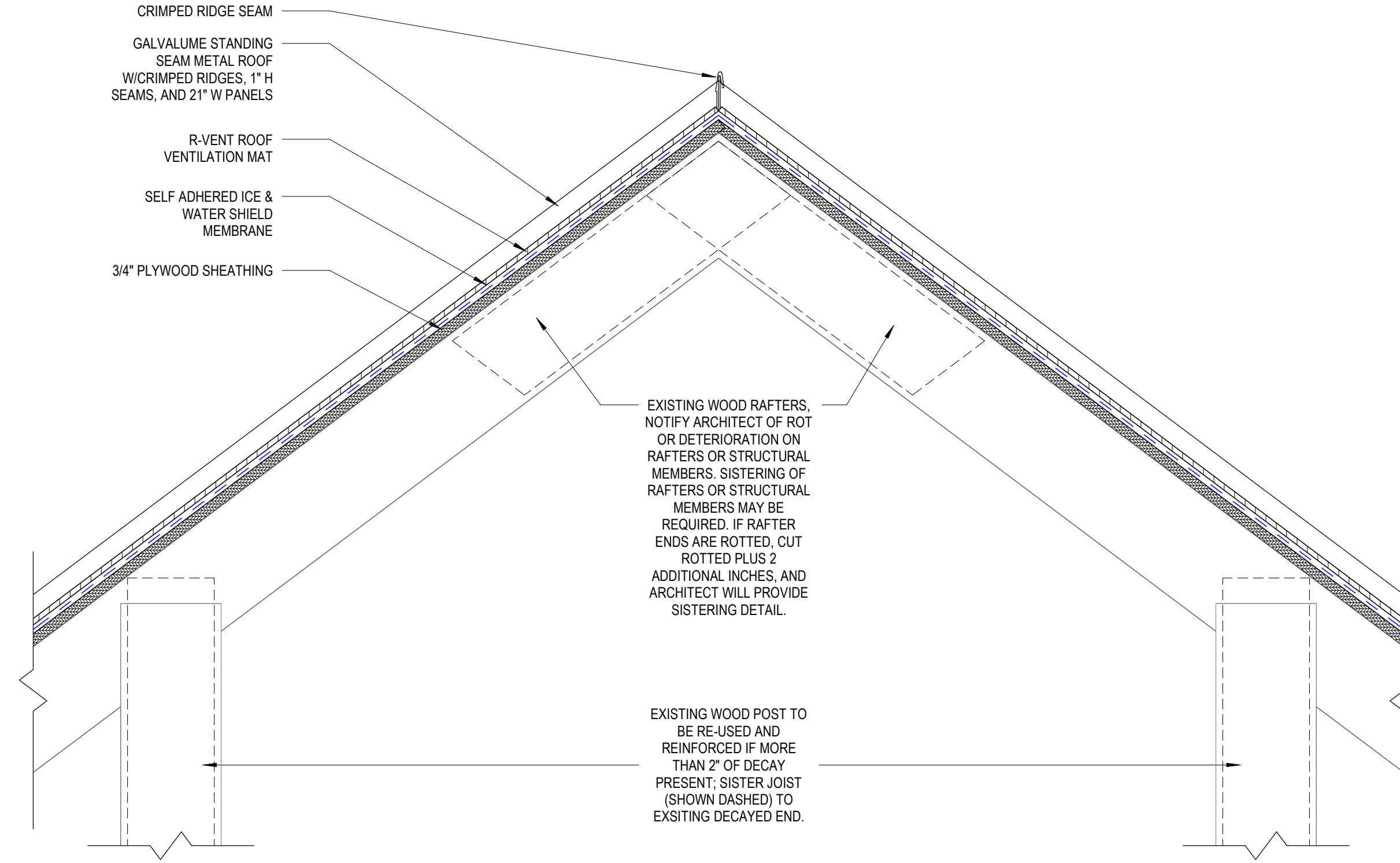
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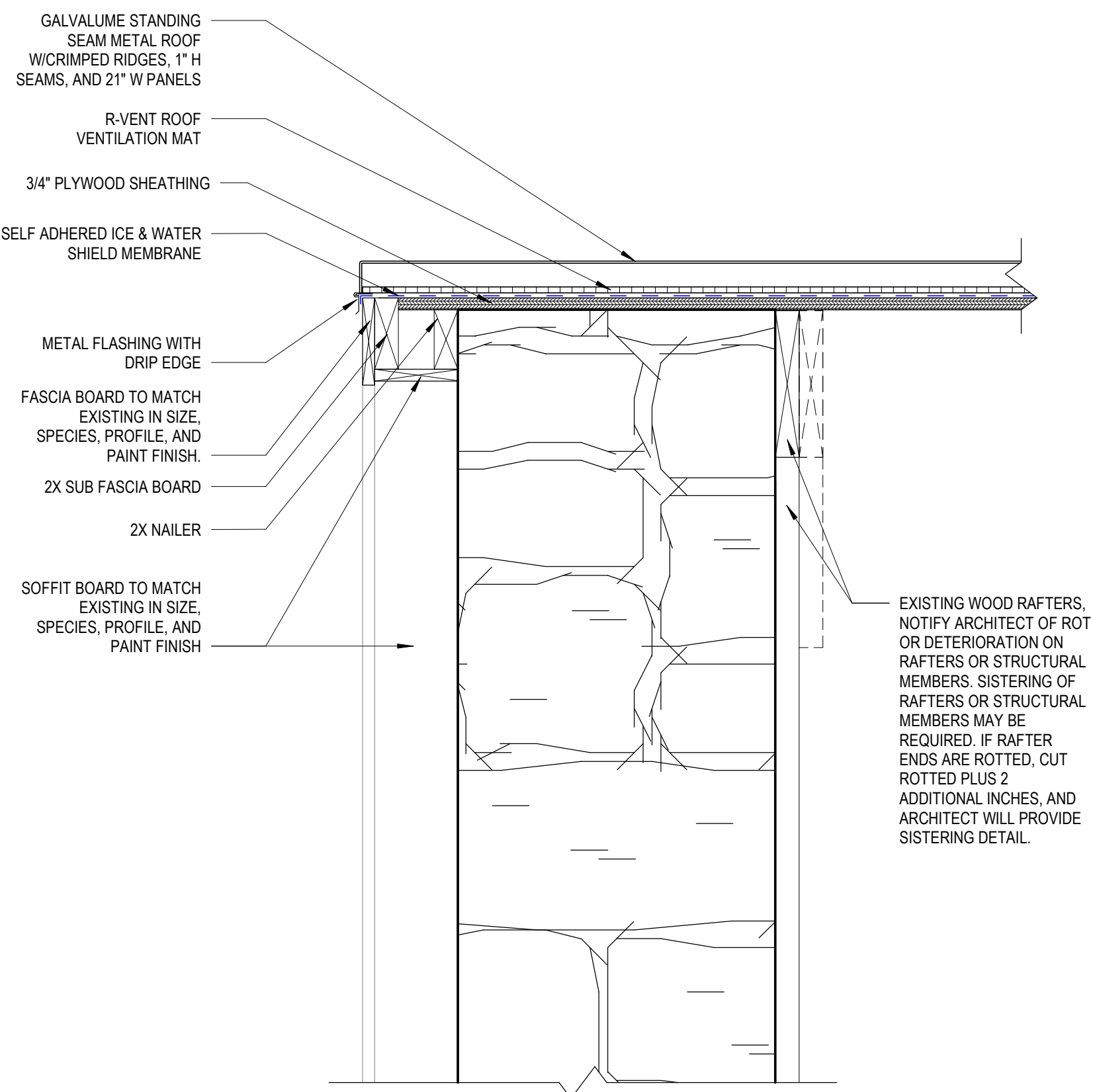
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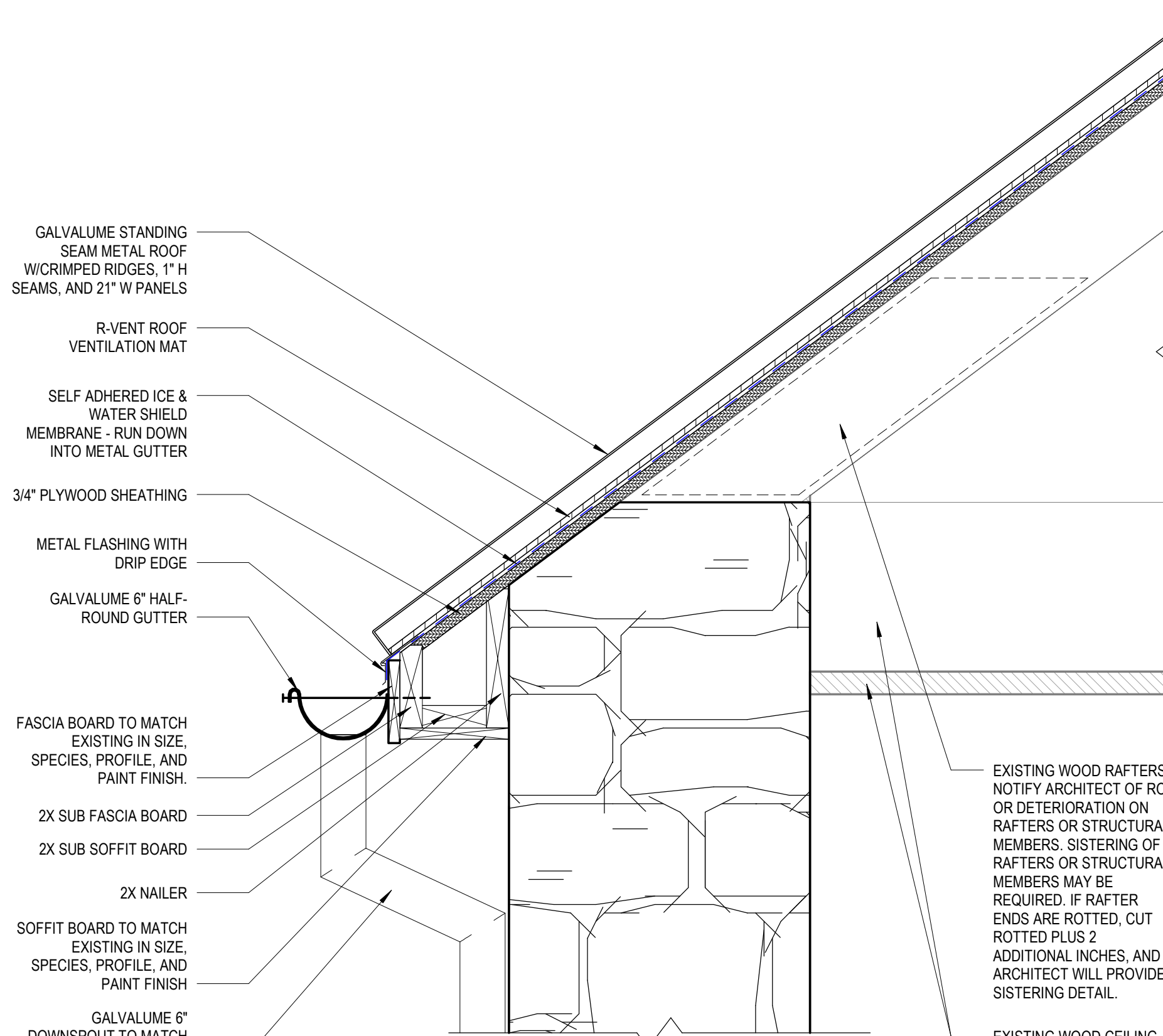
5 SECTION DETAIL
1 1/2" = 1'-0"



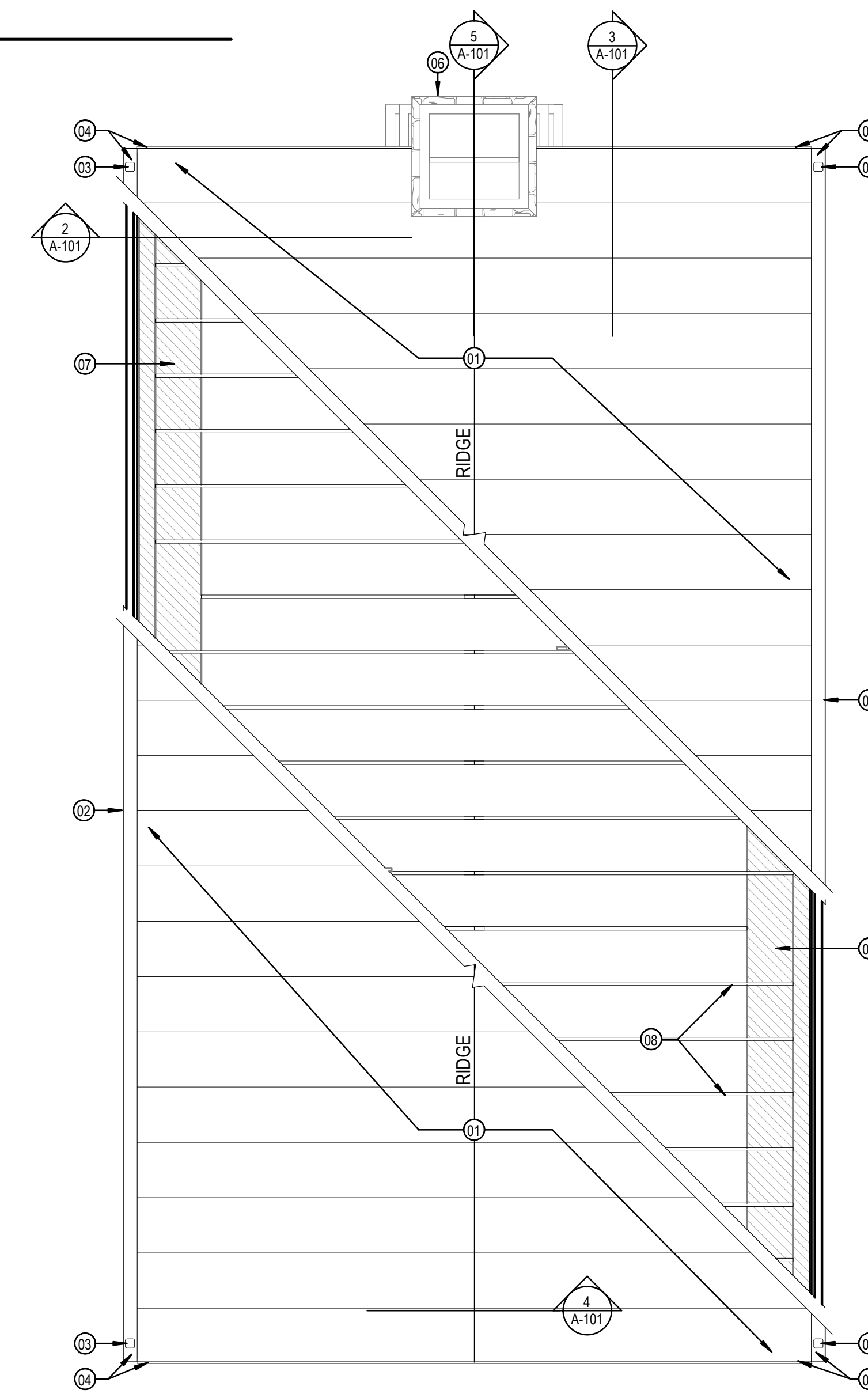
4 SECTION DETAIL
1 1/2" = 1'-0"



3 SECTION DETAIL
1 1/2" = 1'-0"



2 SECTION DETAIL
1 1/2" = 1'-0"



1 1877 COURTHOUSE-REHABILITATION-ROOF
1/4" = 1'-0"

GENERAL NOTES

1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
3. ELEMENTS NOTED WITHIN KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY, CONTRACTOR TO VERIFY ANY ADDITIONAL SUBSEQUENT DAMAGE THAT MAY HAVE OCCURRED.
4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
6. ALL ROOF FLASHING TO BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. ALL ROOF GUTTERS SHALL HAVE A CONTINUOUS SLOPE OF AT LEAST 1/4" PER 10 FT GUTTER LENGTH.
8. NEW ROOF SHALL BE A GALVALUME STANDING SEAM METAL ROOF W/CRIMPED RIDGES, 1" H SEAMS, AND 21" W PANELS.

KEYNOTES

- 01 GALVALUME STANDING SEAM METAL ROOF W/CRIMPED RIDGES, 1" H SEAMS, AND 21" W PANELS
- 02 6" GALVALUME METAL GUTTER
- 03 6" GALVALUME METAL DOWNSPOUT TO MATCH GUTTER FINISH
- 04 STRIP, REPAIR, AND REFINISH ALL EXTERIOR WOOD FASCIA AND SOFFIT
- 06 EXISTING CHIMNEY TO REMAIN; REPLACE ANY DAMAGED STONE IN-KIND AS REQUIRED; REPLACE METAL FLASHING
- 07 TOP OF STONE WALL; REPAIR AS REQUIRED
- 08 EXISTING WOOD RAFTERS

Fisher Heck
ARCHITECTS

915 SOUTH MARY'S STREET
SAN ANTONIO, TEXAS 78205
210-290-1500

8/08/24

PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: REHABILITATION ROOF PLAN -1877 COURTHOUSE

PROJECT NO: 2301 A1

REVISIONS DATE

SHEET NO:
A-101

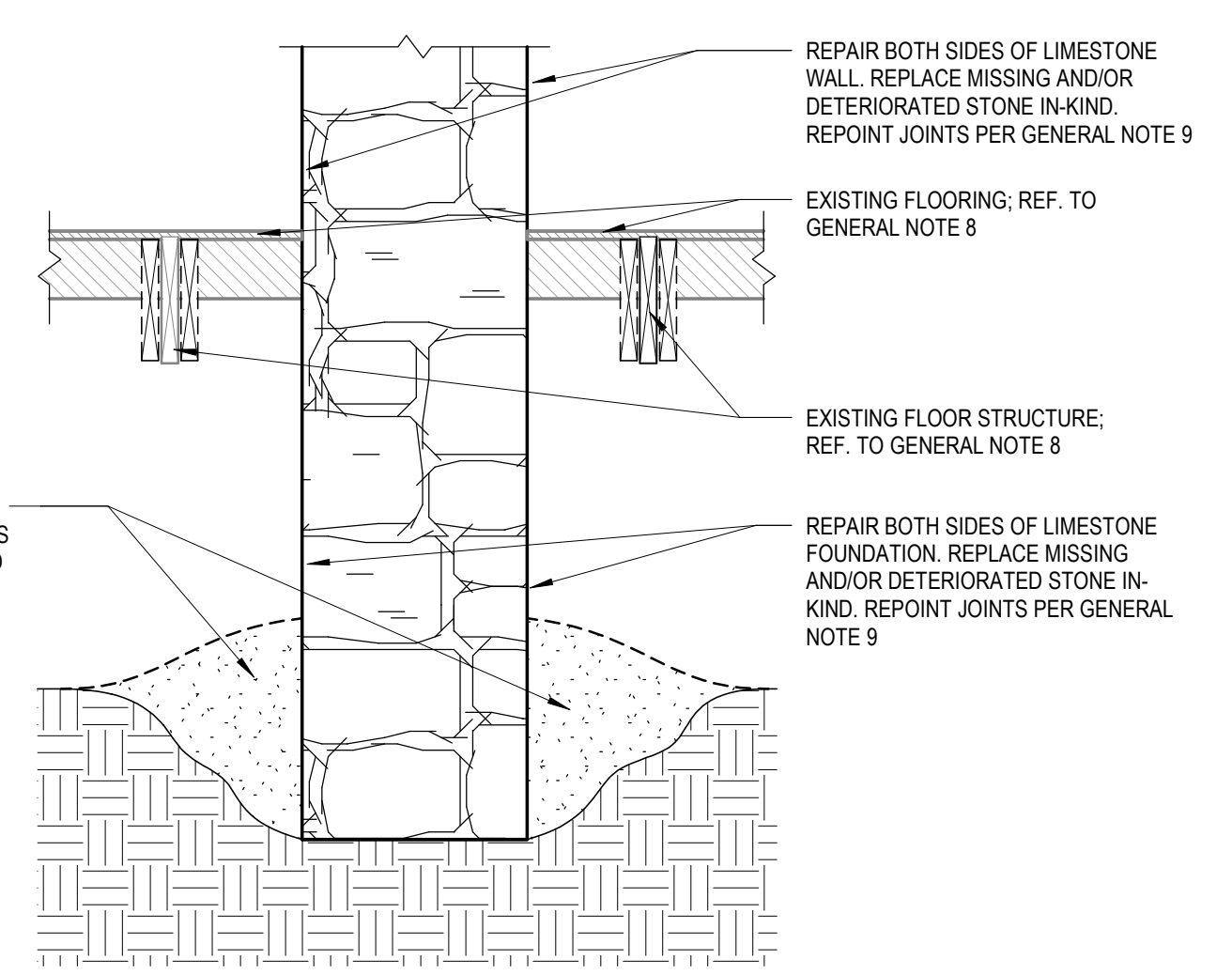
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GENERAL NOTES

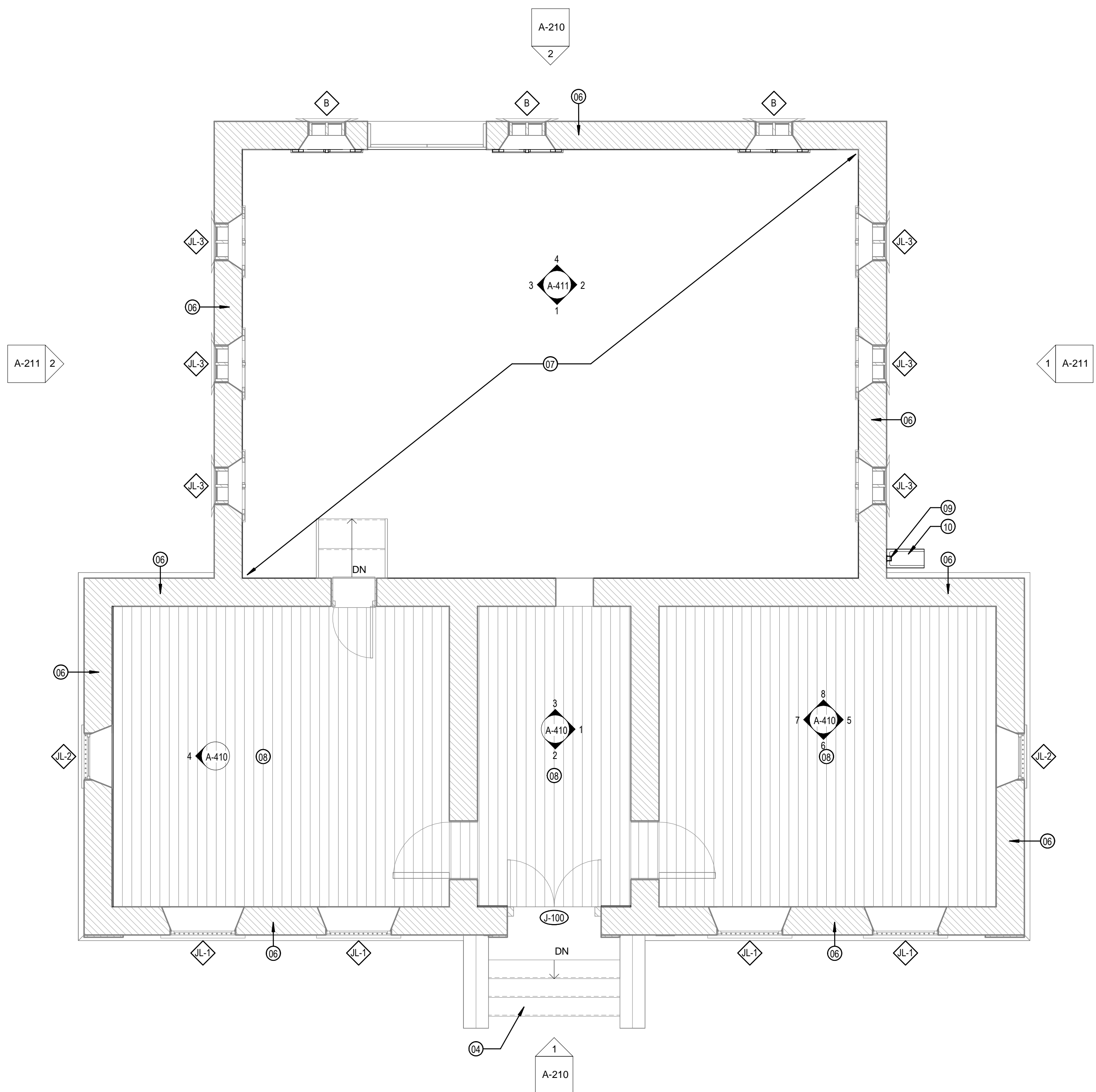
1. IMMEDIATELY ON DISCOVERY OF THE NEED FOR CLARIFICATION OF THE CONTRACT DOCUMENTS, SUBMIT A REQUEST FOR INFORMATION TO ARCHITECT.
2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
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4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
6. ALL DOOR AND WINDOWS THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
7. DO NOT REMOVE BASE BOARDS OR OTHER WOODEN TRIM, EXCEPT DURING REPOINTING AND REPLASTERING WHERE NEEDED, PROTECT DURING CONSTRUCTION.
8. SELECT AREAS OF FLOORING AND FLOOR STRUCTURE MAY NEED TO BE REMOVED DURING REPOINTING AND STABILIZATION OF FOUNDATION WALLS. CONTRACTOR WILL DETERMINE THE EXTENT OF REMOVALS NECESSARY UNDER MEANS AND METHODS. ANY FLOOR STRUCTURE REMOVED WILL BE DONE WITH SENSITIVITY SO IT HAS THE POTENTIAL FOR REUSE. REMOVED MATERIALS WILL BE LABELED AND CAREFULLY STORED WITHIN THE BUILDING.
9. REPOINT 100% OF EXTERIOR AND INTERIOR STONE WALLS. CAREFULLY REMOVE EXISTING MORTAR A MINIMUM OF 2 INCHES FROM FACE OF STONE.
10. REPOINTING MORTAR TO CONSIST OF 4 PARTS BUFF COLORED RIVER SAND, 1 PART LIME, 14 PART PORTLAND CEMENT. SOME PORTIONS OF WALL MAY NEED TO BE DISASSEMBLED, SHORED, AND REASSEMBLED USING SAME OR LIKE STONE. ELEVATION SHEETS INDICATE SOME OF THESE AREAS. CONTRACTOR WILL DETERMINE IF ADDITIONAL ARE NEEDED.
11. PROVIDE A TEMPORARY POWER IN EACH BUILDING.
12. PROVIDE A BUCKETLESS PORTABLE COMMERCIAL GRADE DEHUMIDIFIER FOR EACH BUILDING.
13. ALL VISIBLE EXPOSED WOOD SURFACES MUST BE PAINTED TO MATCH EXISTING SURFACE COLOR. PROVIDE SAMPLES TO ARCHITECT FOR APPROVAL. REFER TO SPECS FOR MORE INFO.

KEYNOTES

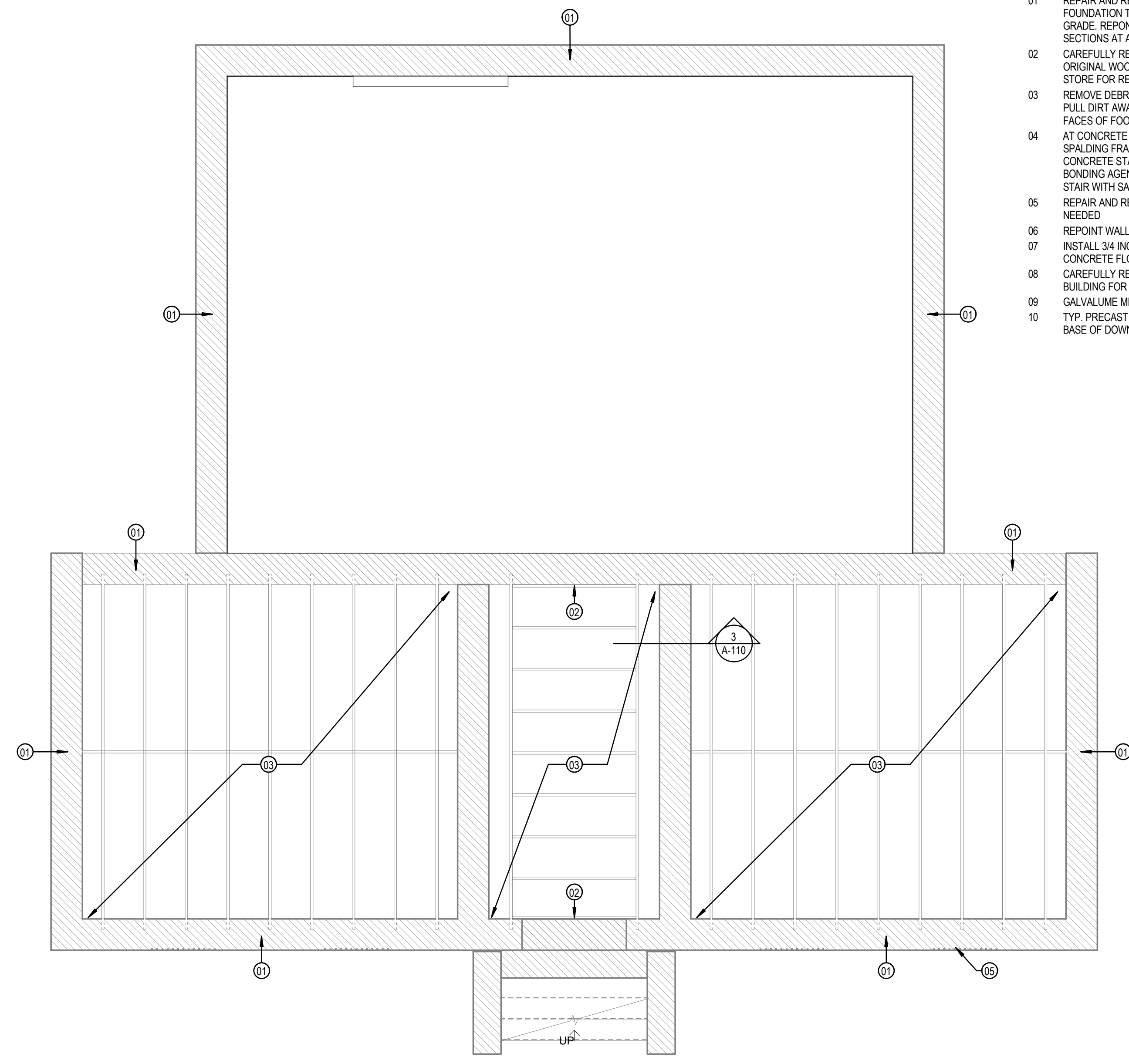
- 01 REPAIR AND REPOINT BOTH SIDES OF EXISTING LIMESTONE FOUNDATION TO BOTTOM OF FOUNDATION OR 3'-0" MAX. BELOW GRADE. REPOINTING SHOULD BE DONE IN NO MORE OF 5'-0" SECTIONS AT A TIME.
- 02 CAREFULLY REMOVE ALL WOOD FRAMING, SALVAGE ALL ORIGINAL WOOD THAT REMAINS IN GOOD CONDITION AND STORE FOR REUSE.
- 03 REMOVE DEBRIS FROM CRAWL SPACE. REMOVE ALL MEP ITEMS, PULL DIRT AWAY FROM EXISTING FOUNDATIONS AND REPOINT FACES OF FOOTINGS. BACK FILL WHEN COMPLETE.
- 04 AT CONCRETE STEPS GENTLY REMOVE ALL LOOSE OR SPALDING FRAGMENTS OF CONCRETE, THEN CLEAN ENTIRE CONCRETE STAIR AND ALLOW TO DRY. APPLY A CONCRETE BONDING AGENT TO STAIR, THEN APPLY CONCRETE TOPPING TO STAIR WITH SALT FINISH.
- 05 REPAIR AND REFINISH METAL GRILLE; REPLACE IN-KIND WHERE NEEDED.
- 06 REPOINT WALL; REFER TO GENERAL NOTES 9,10,11
- 07 INSTALL 3/4 INCH PLYWOOD SHEETS TO PROTECT EXISTING CONCRETE FLOOR DURING CONSTRUCTION.
- 08 CAREFULLY REMOVE FLOOR BOARDS AND STORE WITHIN THE BUILDING FOR FUTURE RE-INSTALLATION
- 09 GALVALUME METAL SCUPPER AND 6" GUTTER
- 10 TYP. PRECAST CONCRETE SPLASH BLOCK 24"Lx10"Wx3"H AT BASE OF DOWNSPOUT



3 SECTION DETAIL
3/4" = 1'-0"



2 1881 JAIL-REHABILITATION-FIRST FLOOR
1/4" = 1'-0"



1 1881 JAIL-REHABILITATION-FOUNDATION PLAN
1/4" = 1'-0"

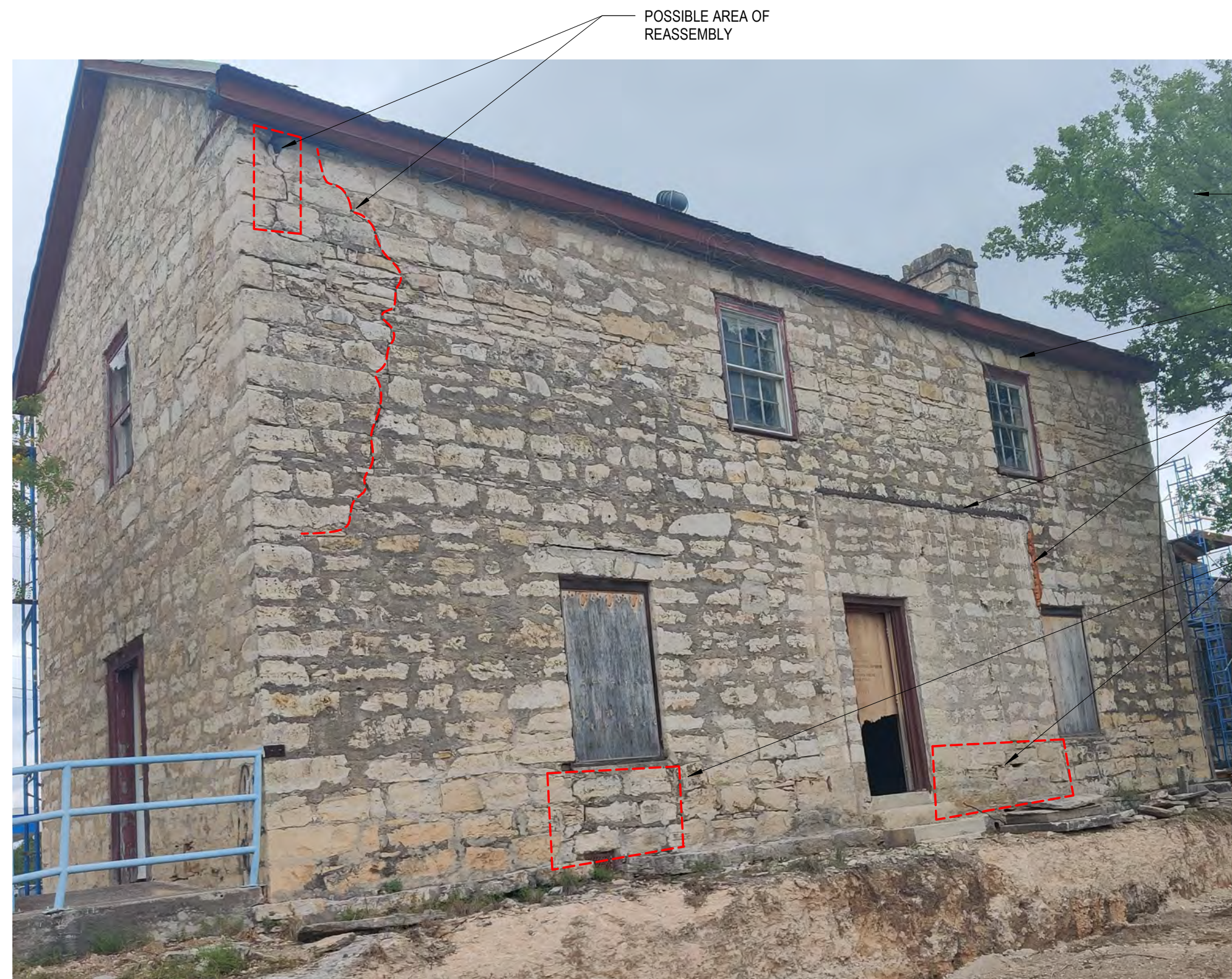
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PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: REHABILITATION PLANS - 1881 JAIL

PROJECT NO: 2301 A1

REVISIONS DATE

SHEET NO:
A-110



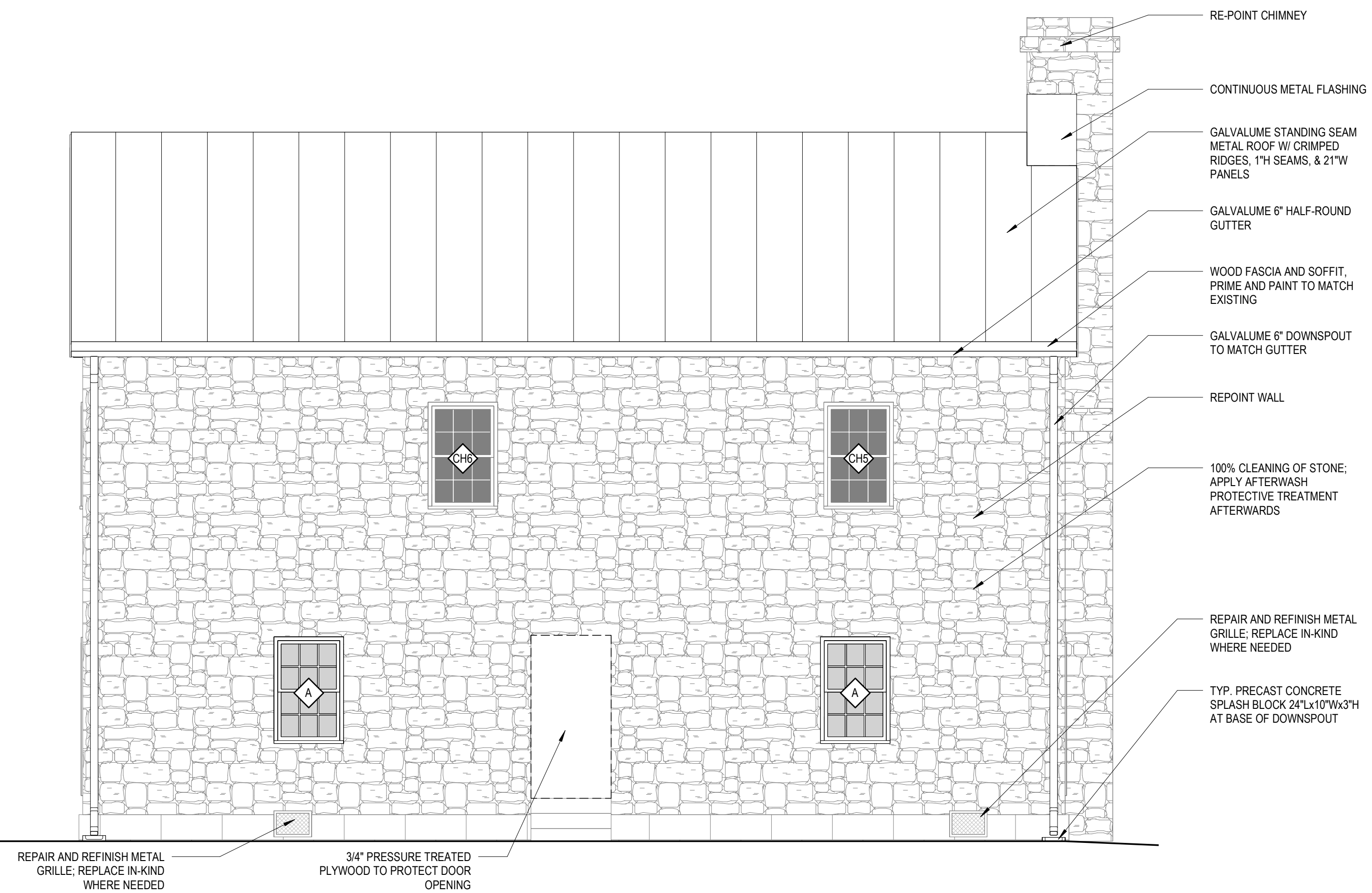
POSSIBLE AREA OF REASSEMBLY

TRIM TREE BRANCHES 10' AWAY FROM THE BUILDING

REMOVE ALL VEGETATION FROM BUILDING

CAREFULLY REMOVE ALL EXPOSED SPRAY FOAM AND MASTIC FROM MASONRY JOINTS AND REPOINT AS NEEDED W/ APPROPRIATE MORTAR MIX

POSSIBLE AREA OF REASSEMBLY



1 1877 COURTHOUSE-REHABILITATION-EAST ELEVATION

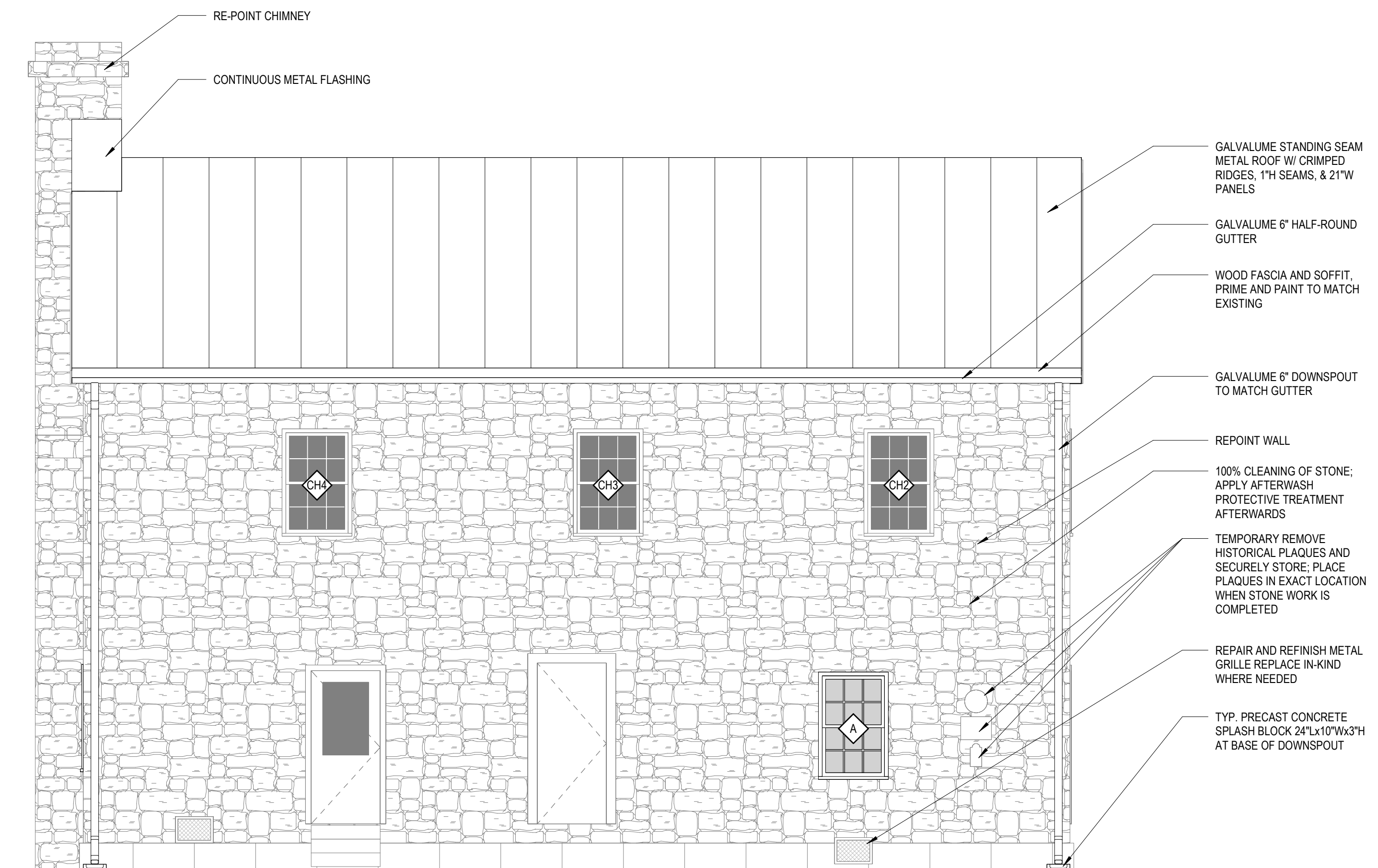
1/4" = 1'-0"



CAREFULLY DECONSTRUCT NON-ORIGINAL BRICK MASONRY CHIMNEY. VOID WITHIN WALL RESULTING FROM THE REMOVAL OF CHIMNEY, SHALL BE FILLED WITH MATCHING STONE WITH A LIME BASED MOTAR

REPOINT WALL

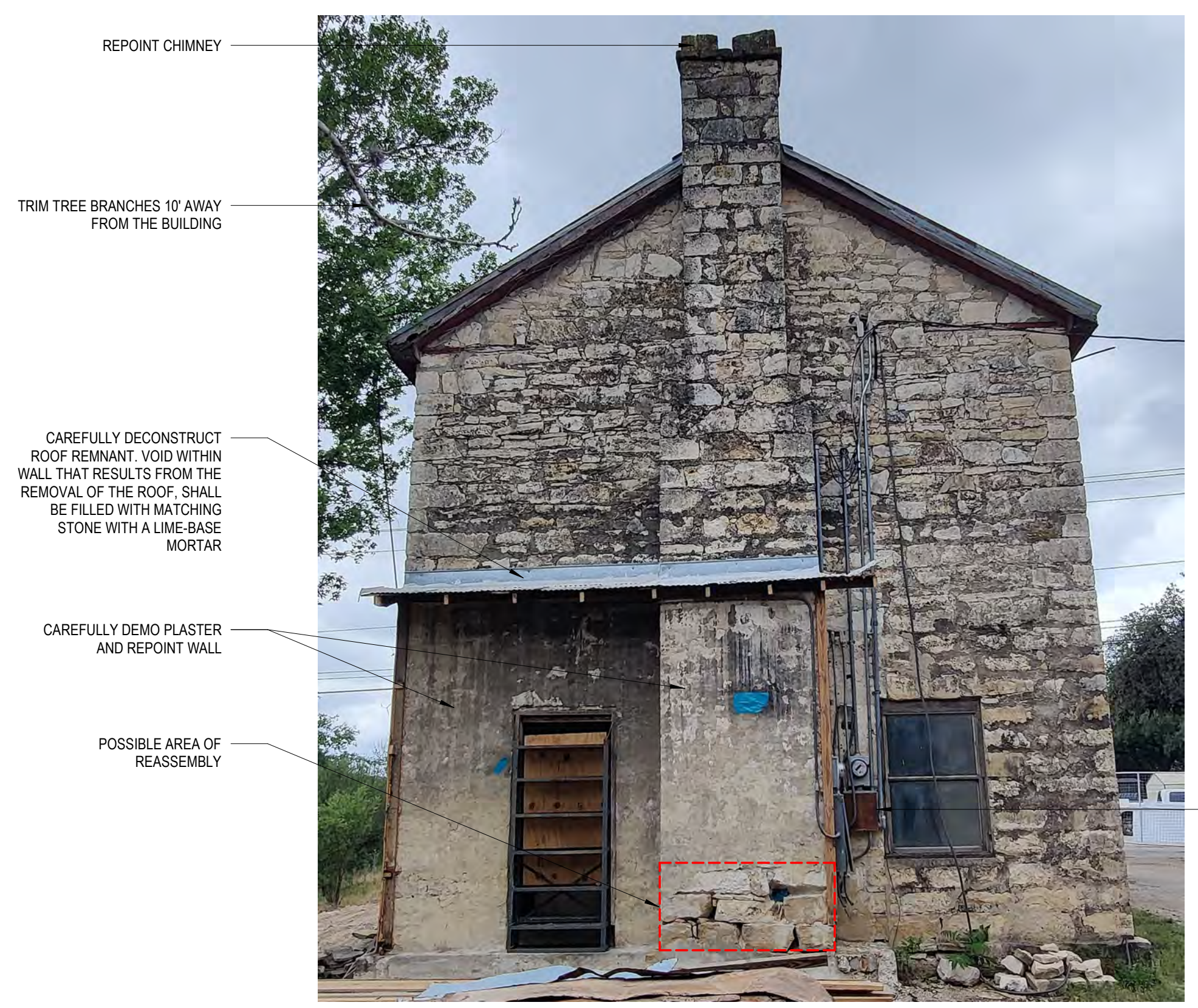
TEMPORARY REMOVE HISTORICAL PLAQUES AND SECURELY STORE. PLACE PLAQUES IN EXACT LOCATION WHEN STONE WORK IS COMPLETED



2 1877 COURTHOUSE-REHABILITATION-WEST ELEVATION

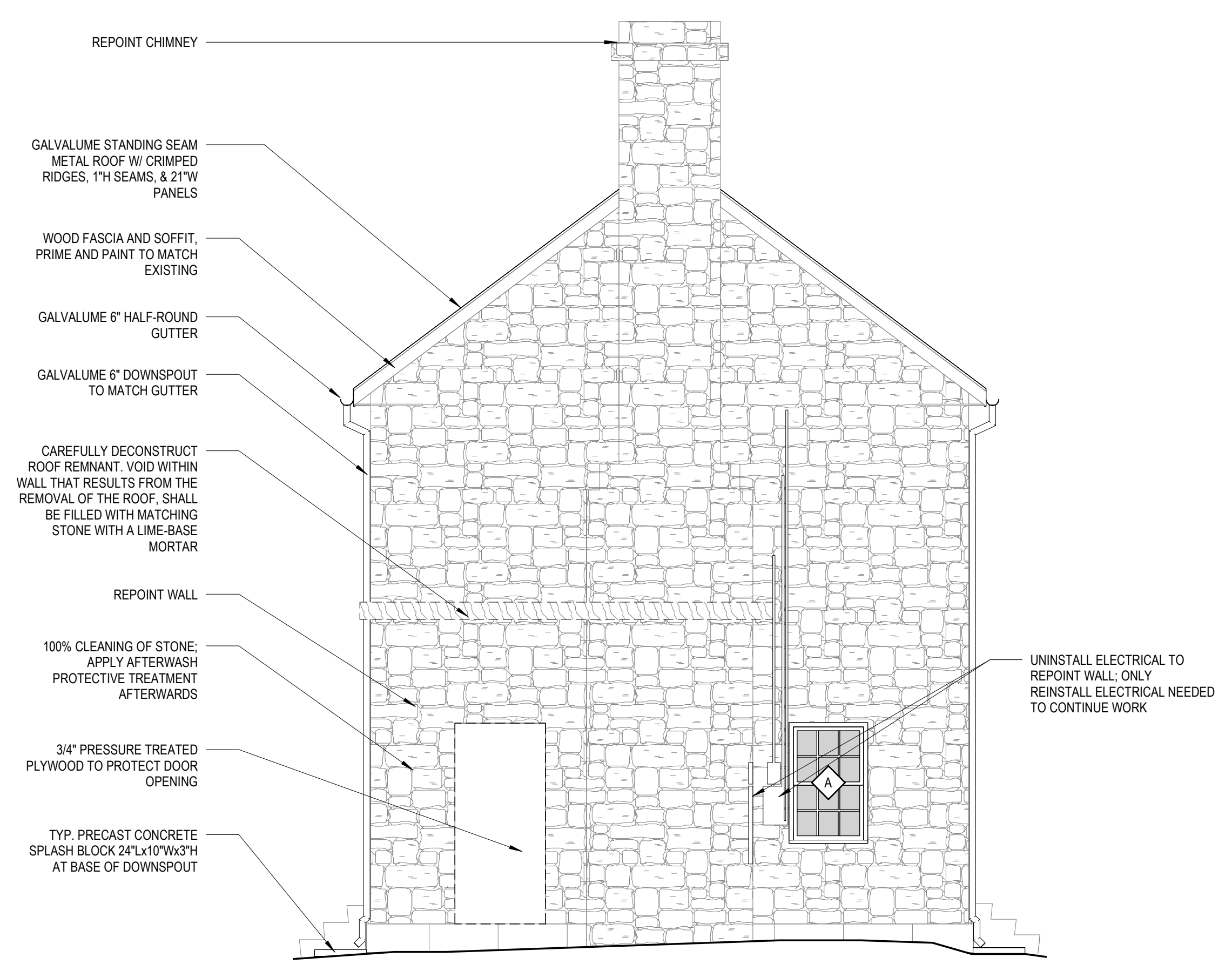
1/4" = 1'-0"

8/08/24



- REPOINT CHIMNEY
- TRIM TREE BRANCHES 10' AWAY FROM THE BUILDING
- CAREFULLY DECONSTRUCT ROOF REMNANT. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE ROOF. SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASE MORTAR
- CAREFULLY DEMO PLASTER AND REPOINT WALL
- POSSIBLE AREA OF REASSEMBLY

UNINSTALL ELECTRICAL TO REPOINT WALL. ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK

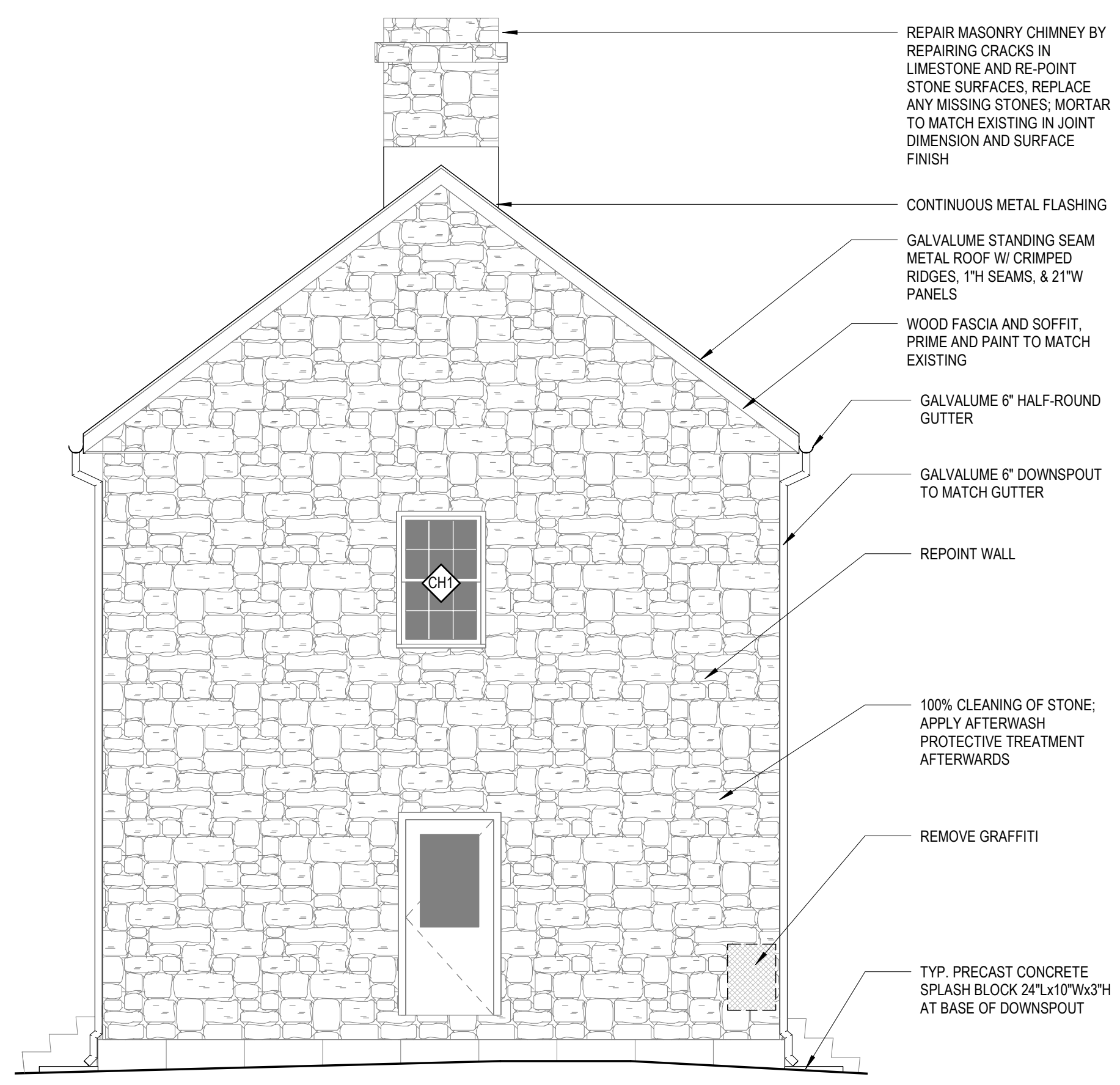


- REPOINT CHIMNEY
- GALVALUME STANDING SEAM METAL ROOF W/ CRIMPED RIDGES, 1"H SEAMS, & 21"W PANELS
- WOOD FASCIA AND SOFFIT. PRIME AND PAINT TO MATCH EXISTING
- GALVALUME 6" HALF-ROUND GUTTER
- GALVALUME 6" DOWNSPOUT TO MATCH GUTTER
- CAREFULLY DECONSTRUCT ROOF REMNANT. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE ROOF. SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASE MORTAR
- REPOINT WALL
- 100% CLEANING OF STONE. APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- 3/4" PRESSURE TREATED PLYWOOD TO PROTECT DOOR OPENING
- TYP. PRECAST CONCRETE SPLASH BLOCK 24"Lx10"Wx3"H AT BASE OF DOWNSPOUT
- UNINSTALL ELECTRICAL TO REPOINT WALL. ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK

1 1877 COURTHOUSE-REHABILITATION-NORTH ELEVATION
1/4" = 1'-0"



- REPOINT WALL
- POSSIBLE AREA OF REASSEMBLY
- REMOVE GRAFFITI

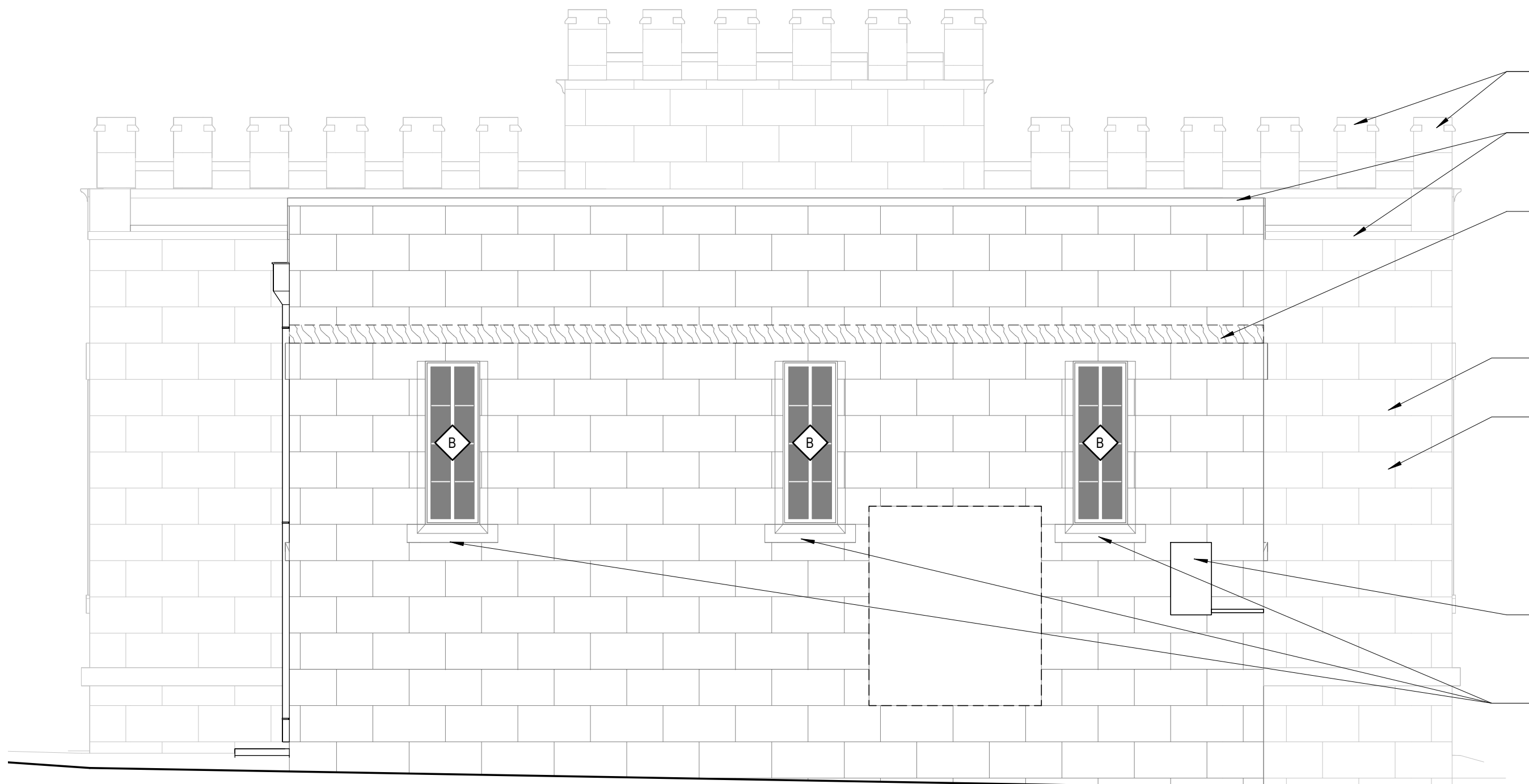


- REPAIR MASONRY CHIMNEY BY REPAIRING CRACKS IN LIMESTONE AND RE-POINT STONE SURFACES. REPLACE ANY MISSING STONES; MORTAR TO MATCH EXISTING IN JOINT DIMENSION AND SURFACE FINISH
- CONTINUOUS METAL FLASHING
- GALVALUME STANDING SEAM METAL ROOF W/ CRIMPED RIDGES, 1"H SEAMS, & 21"W PANELS
- WOOD FASCIA AND SOFFIT. PRIME AND PAINT TO MATCH EXISTING
- GALVALUME 6" HALF-ROUND GUTTER
- GALVALUME 6" DOWNSPOUT TO MATCH GUTTER
- REPOINT WALL
- 100% CLEANING OF STONE. APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- REMOVE GRAFFITI
- TYP. PRECAST CONCRETE SPLASH BLOCK 24"Lx10"Wx3"H AT BASE OF DOWNSPOUT

2 1877 COURTHOUSE-REHABILITATION-SOUTH ELEVATION
1/4" = 1'-0"

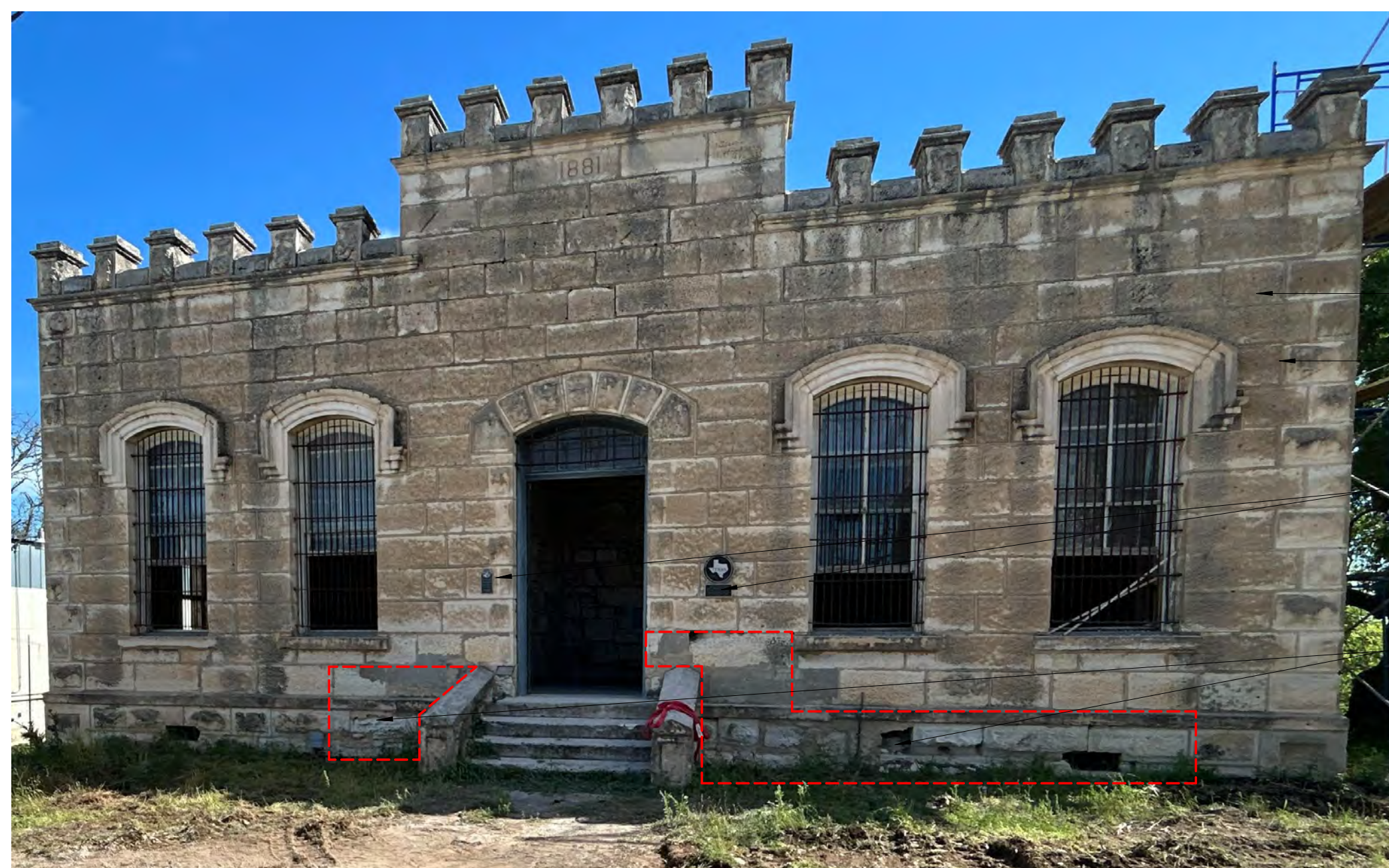


- CAREFULLY DECONSTRUCT ROOF REMNANT. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE ROOF. SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASE MORTAR
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- REMOVE PLYWOOD AND DUCT WORK AND PREP OPENING TO RECEIVE NEW WINDOW
- UNINSTALL ELECTRICAL TO REPOINT WALL; ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK
- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS

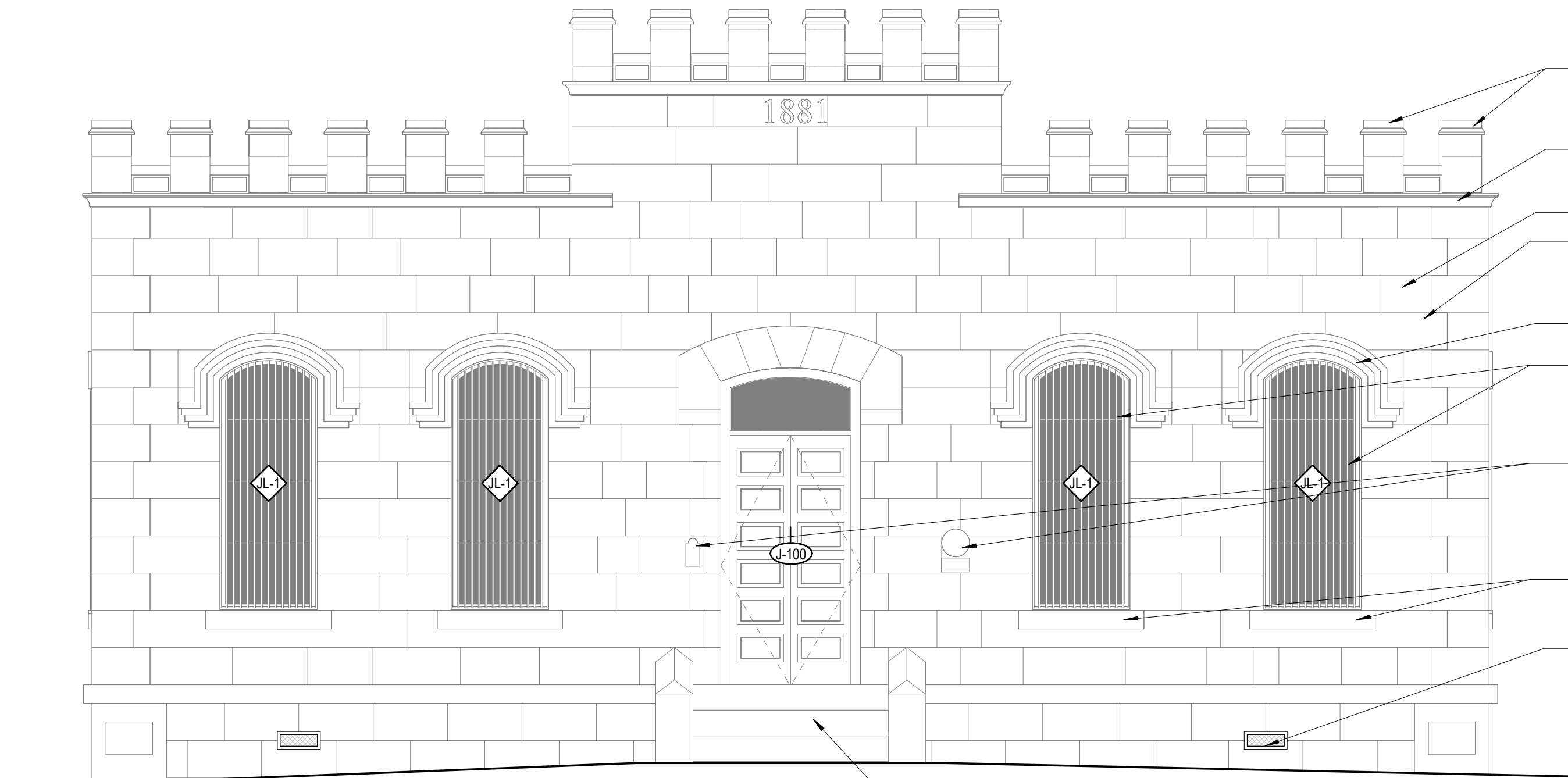


- SECURE ALL STONE TOWERS CAPS TO THEIR BASE, CLEAN AND REPAIR AS NEEDED
- CLEAN AND REPAIR STONE CORNICE
- CAREFULLY DECONSTRUCT ROOF REMNANT. VOID WITHIN WALL THAT RESULTS FROM THE REMOVAL OF THE ROOF. SHALL BE FILLED WITH MATCHING STONE WITH A LIME-BASE MORTAR
- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- UNINSTALL ELECTRICAL TO REPOINT WALL; ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK
- CLEAN AND REPAIR STONE SILLS AS NEEDED

2 1881 JAIL-REHABILITATION-NORTH ELEVATION
1/4" = 1'-0"



- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- TEMPORARY REMOVE HISTORICAL PLAQUES AND SECURELY STORE; PLACE PLAQUES IN EXACT LOCATION WHEN STONE WORK IS COMPLETED
- POSSIBLE AREA OF REASSEMBLY



- SECURE ALL STONE TOWERS CAPS TO THEIR BASE, CLEAN AND REPAIR AS NEEDED
- CLEAN AND REPAIR STONE CORNICE
- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- CLEAN AND REPAIR STONE HEADERS AS NEEDED
- SODA BLAST CLEAN ALL JAIL WINDOW BARS DOWN TO BARE METAL, THEN APPLY EPOXY PRIMER, THEN PAINT
- TEMPORARY REMOVE HISTORICAL PLAQUES AND SECURELY STORE; PLACE PLAQUES IN EXACT LOCATION WHEN STONE WORK IS COMPLETED
- CLEAN AND REPAIR STONE SILLS AS NEEDED
- REPAIR AND REFINISH METAL GRILLE; REPLACE IN-KIND WHERE NEEDED

1 1881 JAIL-REHABILITATION-SOUTH ELEVATION
1/4" = 1'-0"

PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: EXTERIOR ELEVATIONS

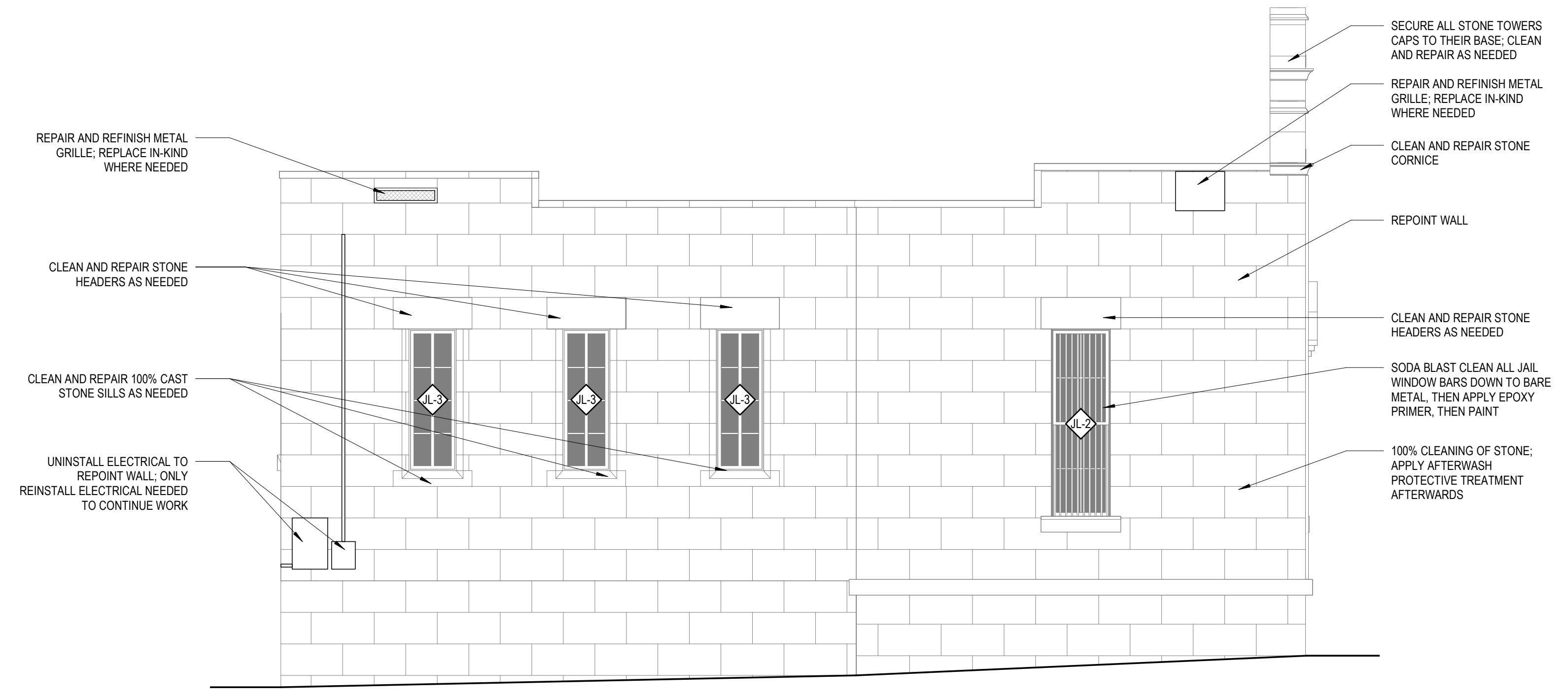
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REVISIONS DATE

SHEET NO:
A-210



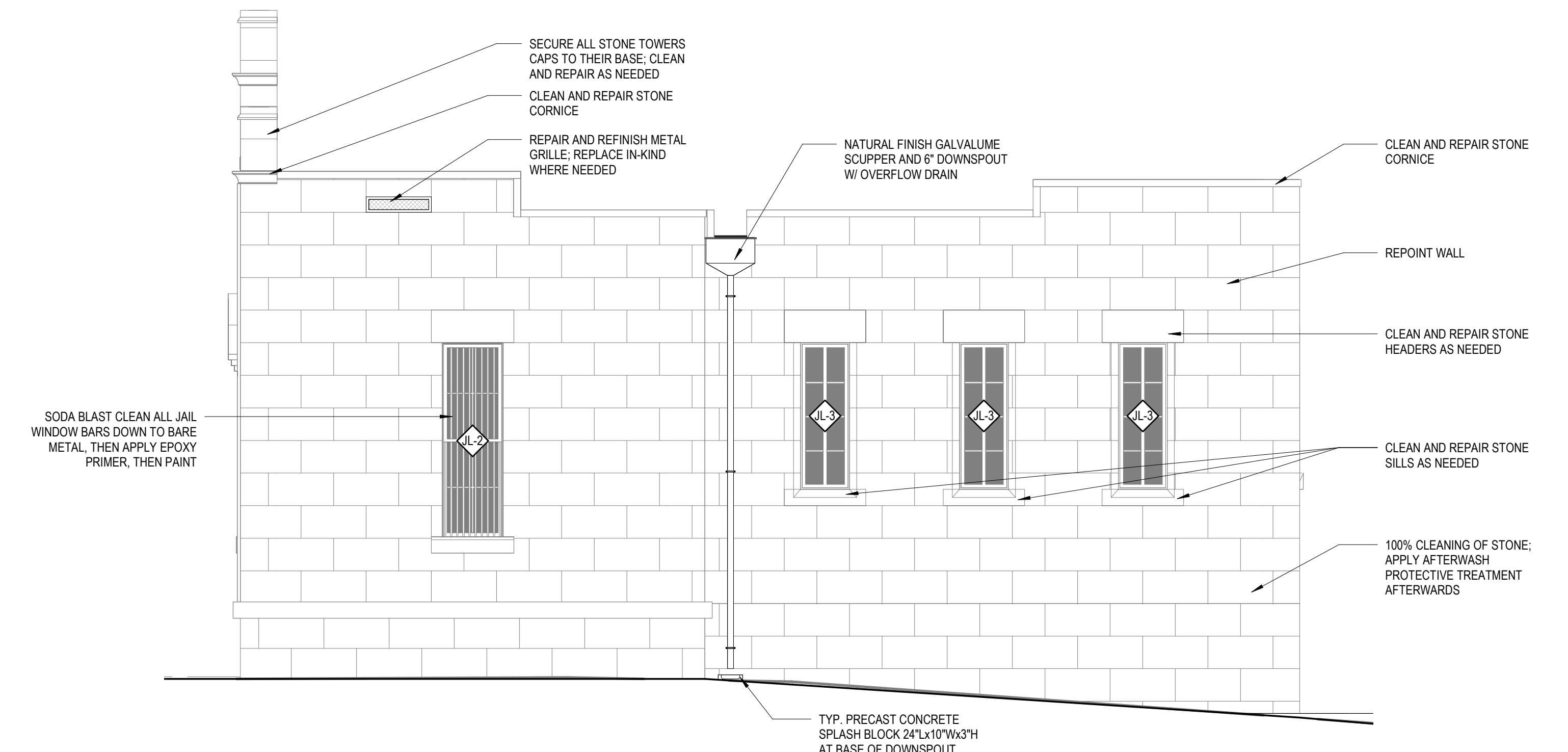
- REPOINT WALL
- UNINSTALL ELECTRICAL TO REPOINT WALL. ONLY REINSTALL ELECTRICAL NEEDED TO CONTINUE WORK
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS



2 1881 JAIL-REHABILITATION-WEST ELEVATION
1/4" = 1'-0"



- REPOINT WALL
- 100% CLEANING OF STONE; APPLY AFTERWASH PROTECTIVE TREATMENT AFTERWARDS
- POSSIBLE REASSEMBLY



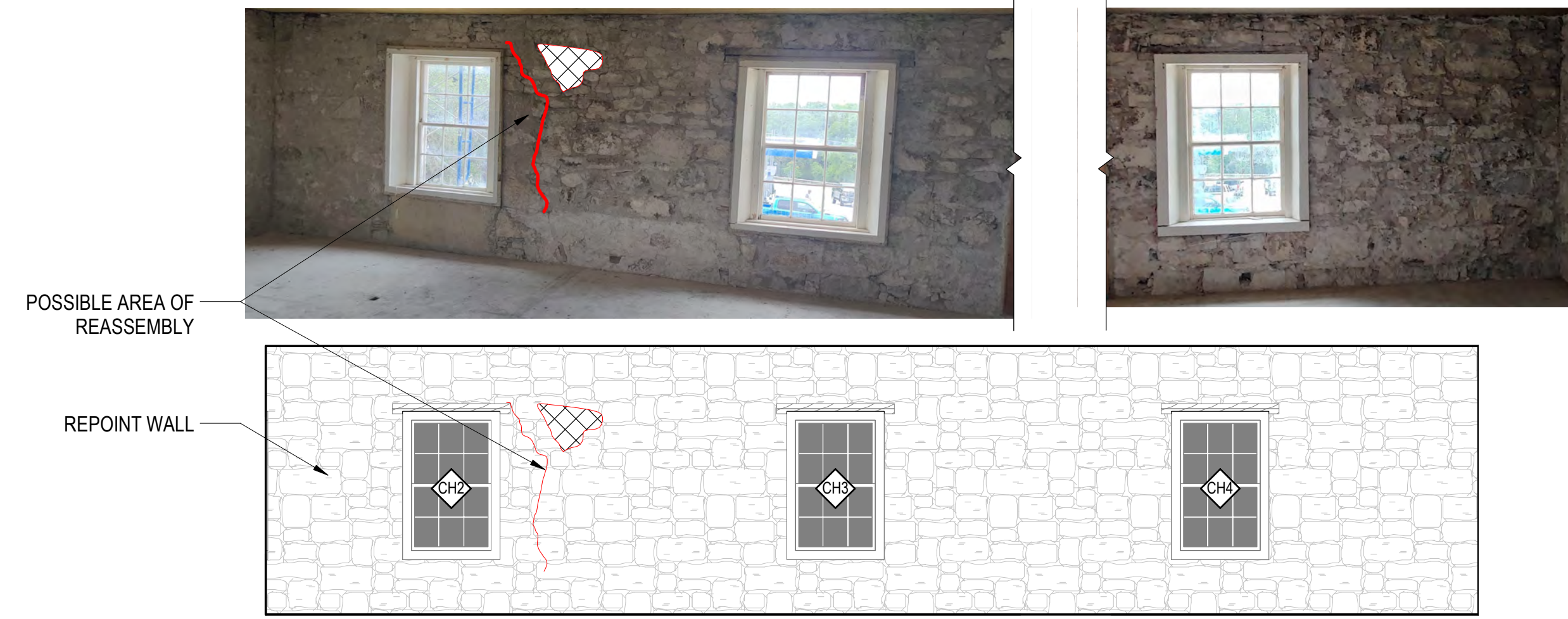
1 1881 JAIL-REHABILITATION-EAST ELEVATION
1/4" = 1'-0"

PROJECT: BANDERA COUNTY VISITOR CENTER
SHEET TITLE: EXTERIOR ELEVATIONS

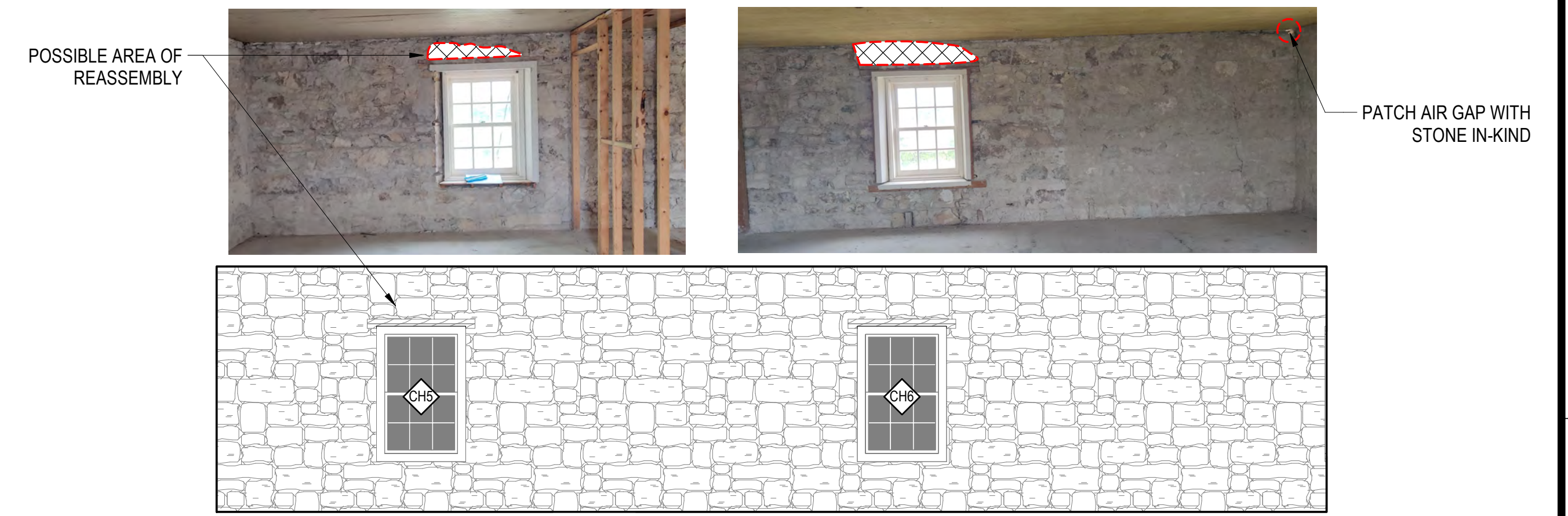
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REVISIONS DATE

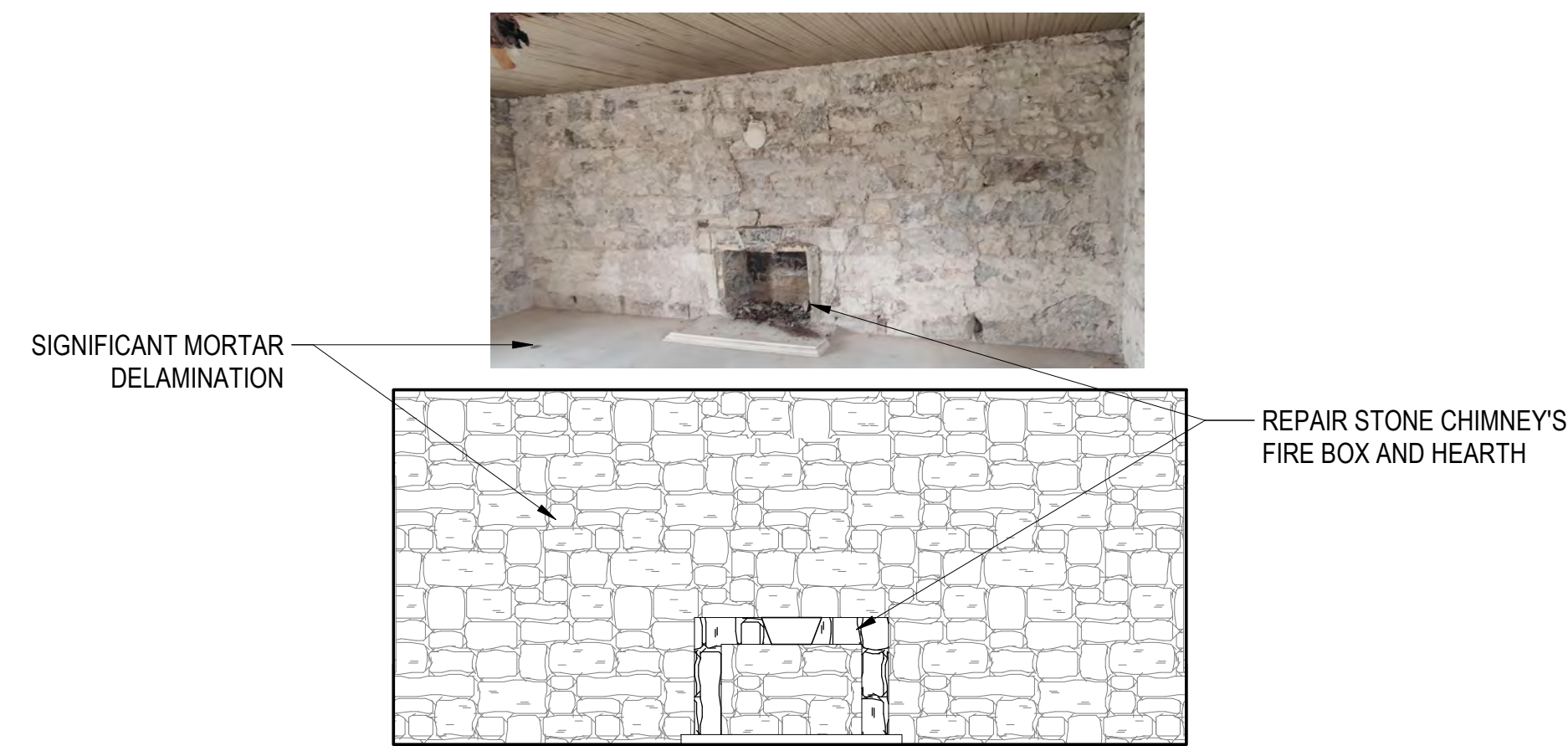
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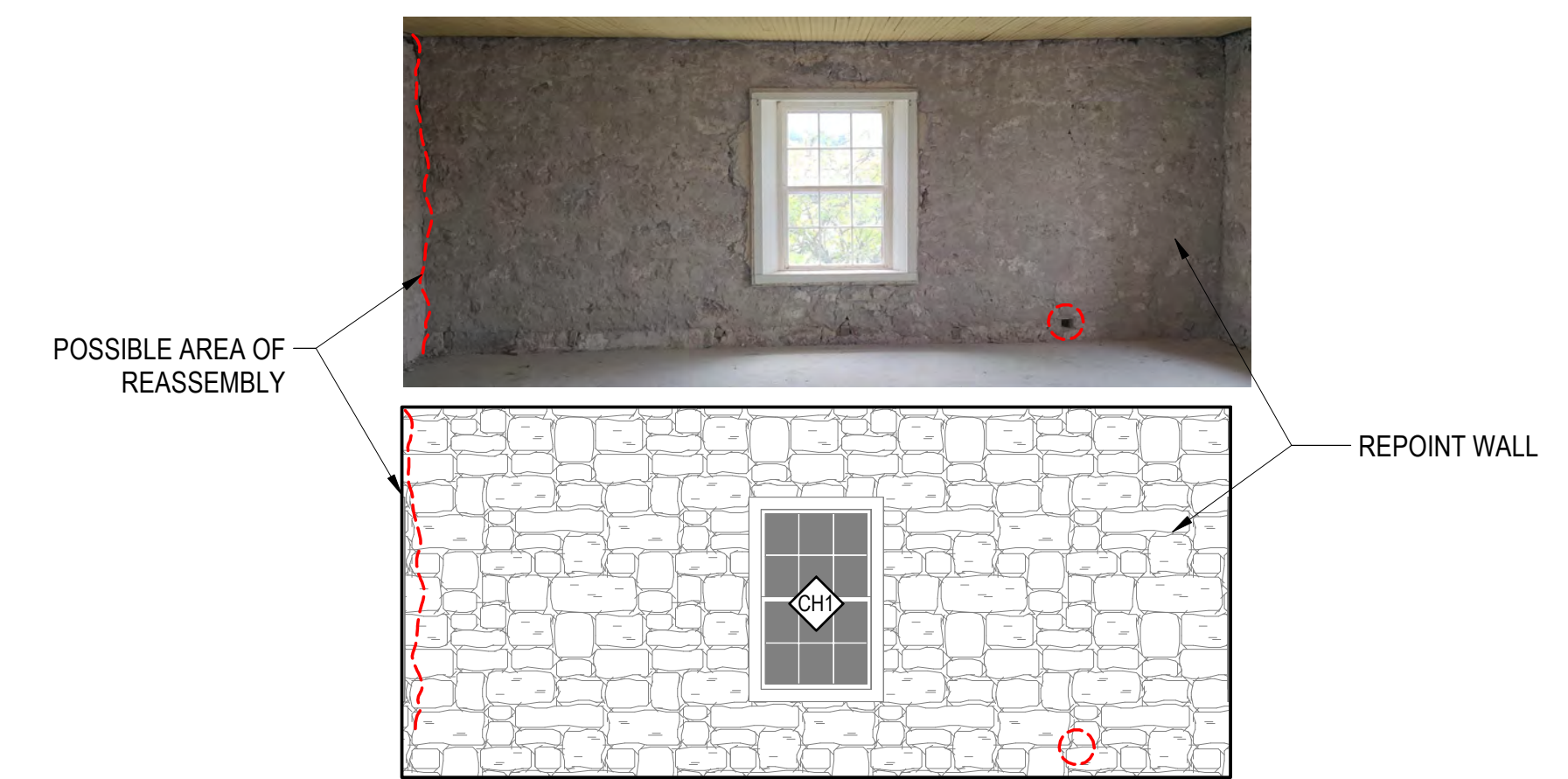
8 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



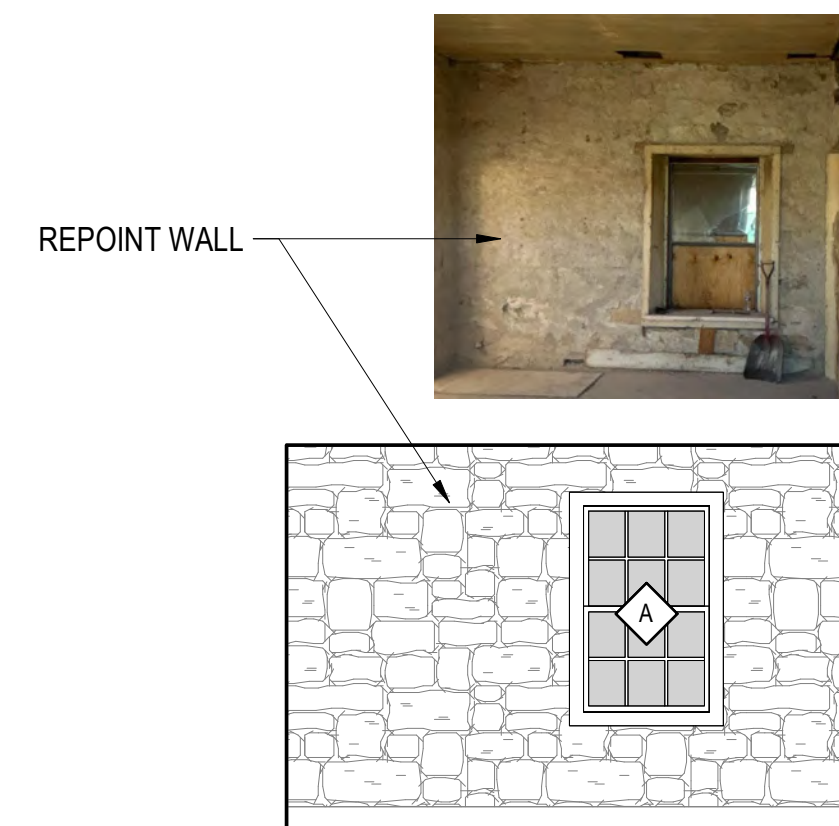
7 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



6 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



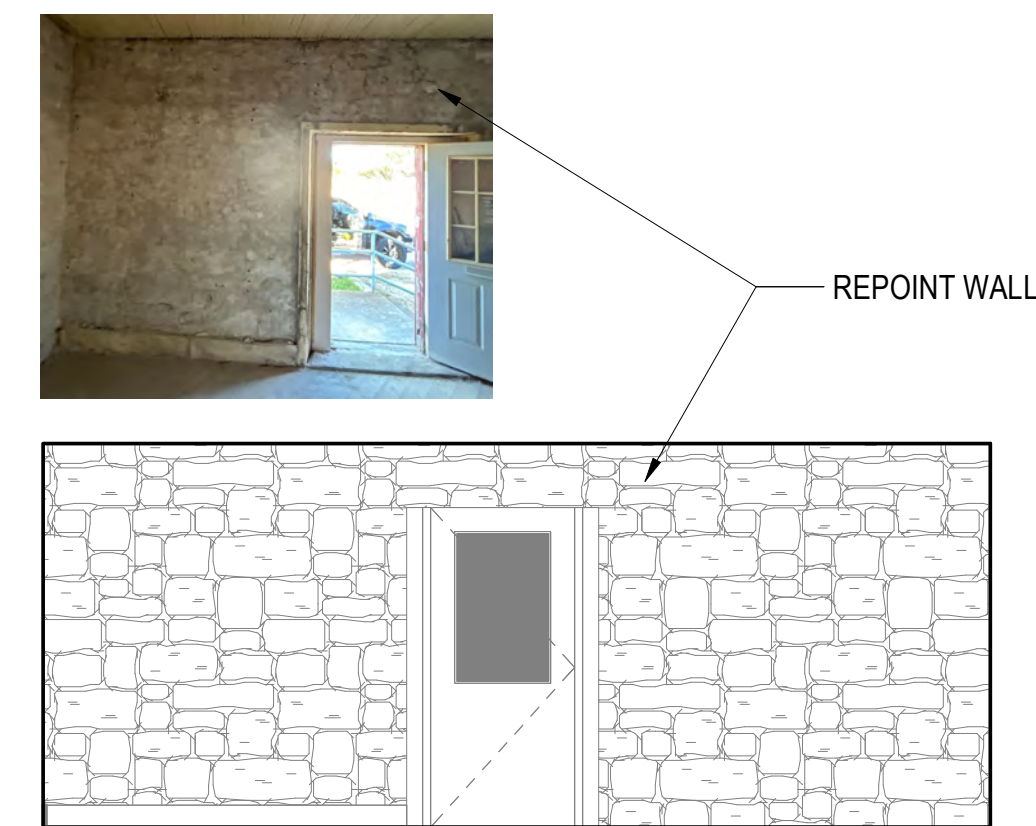
5 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



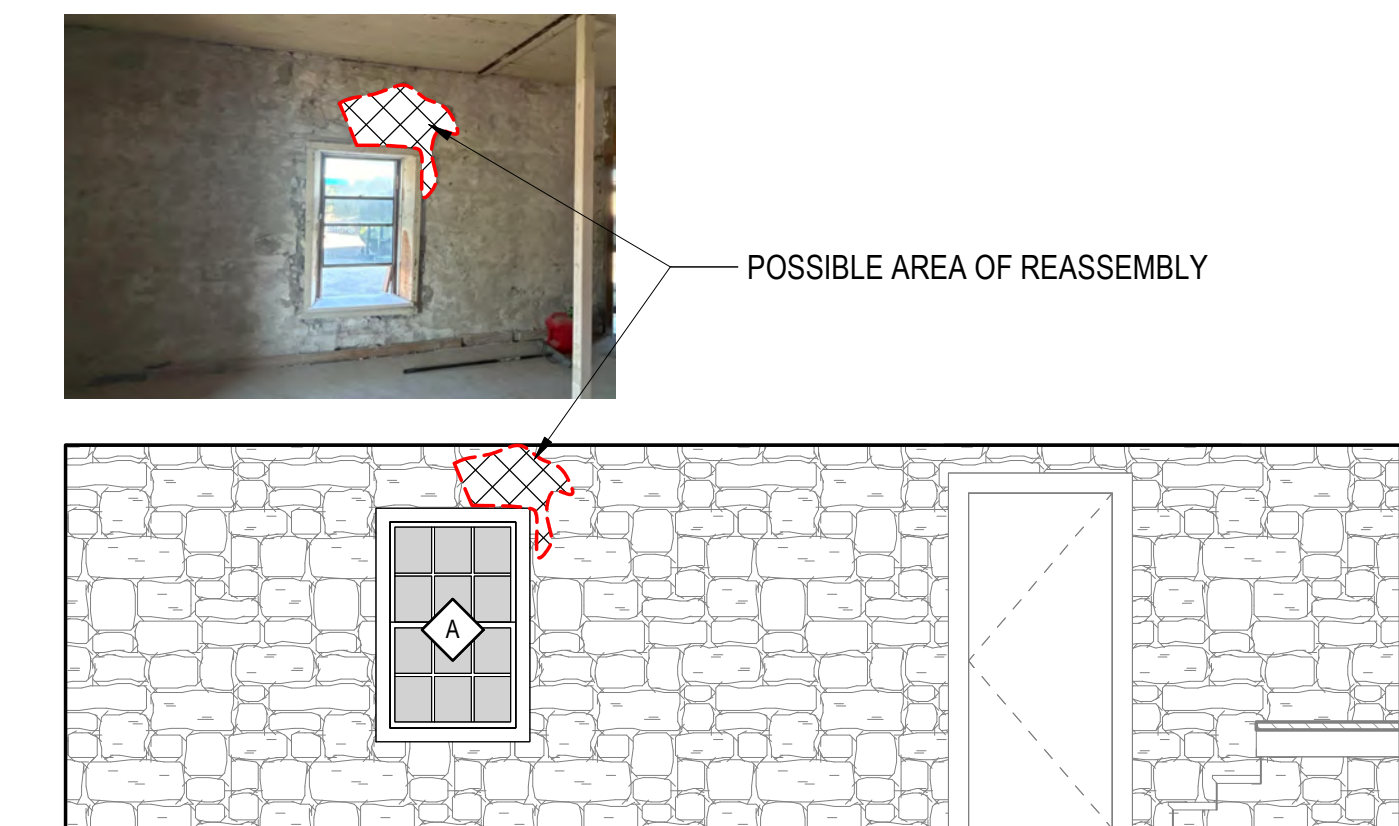
4 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



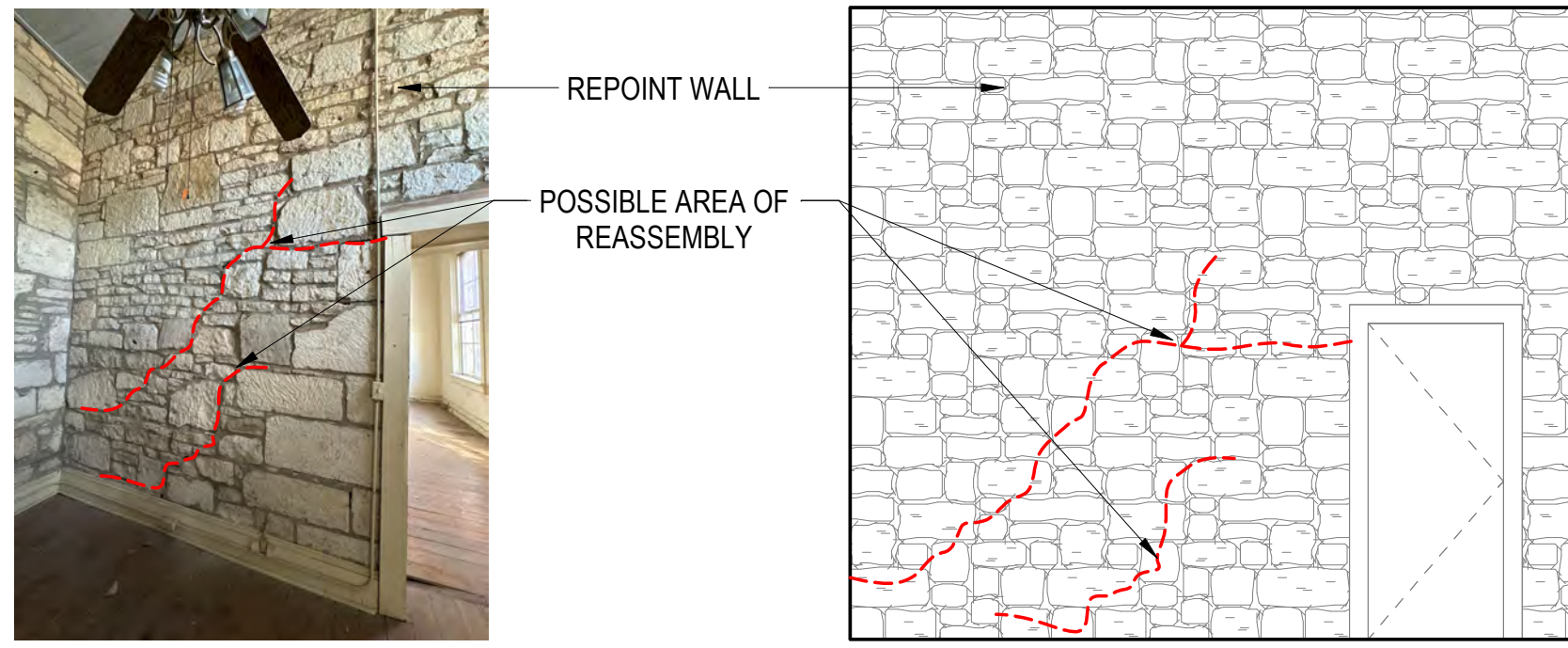
3 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



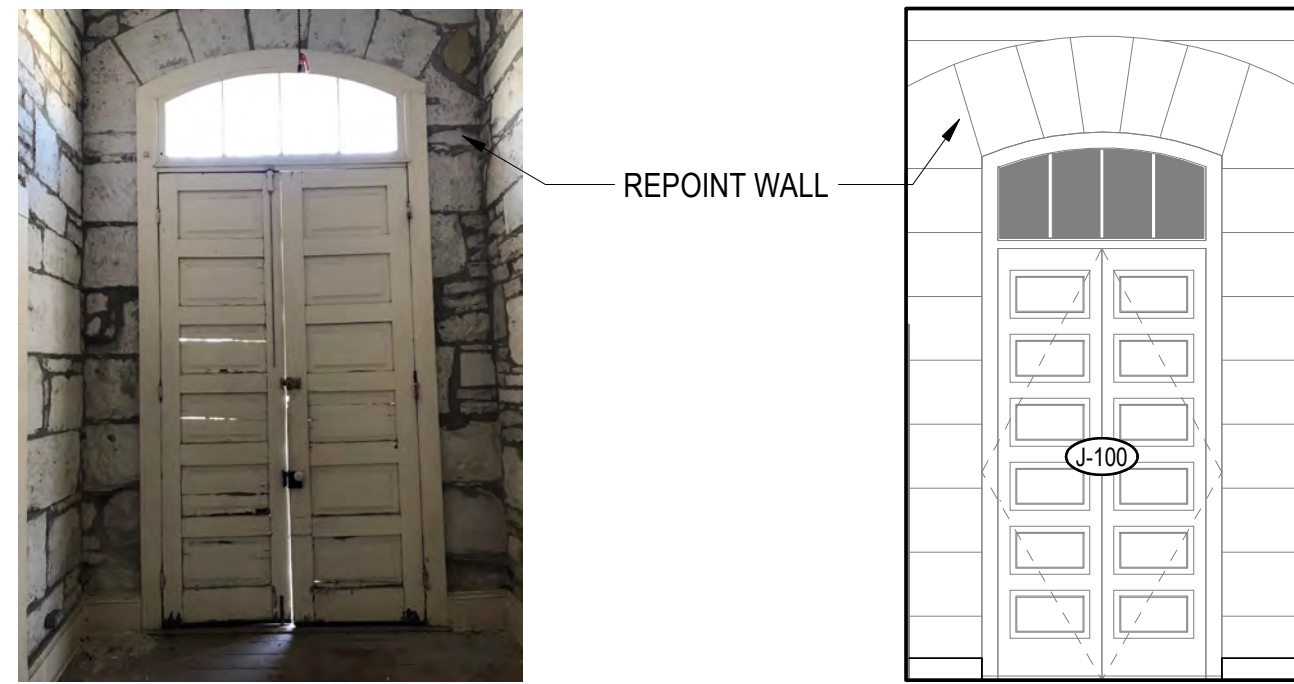
2 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



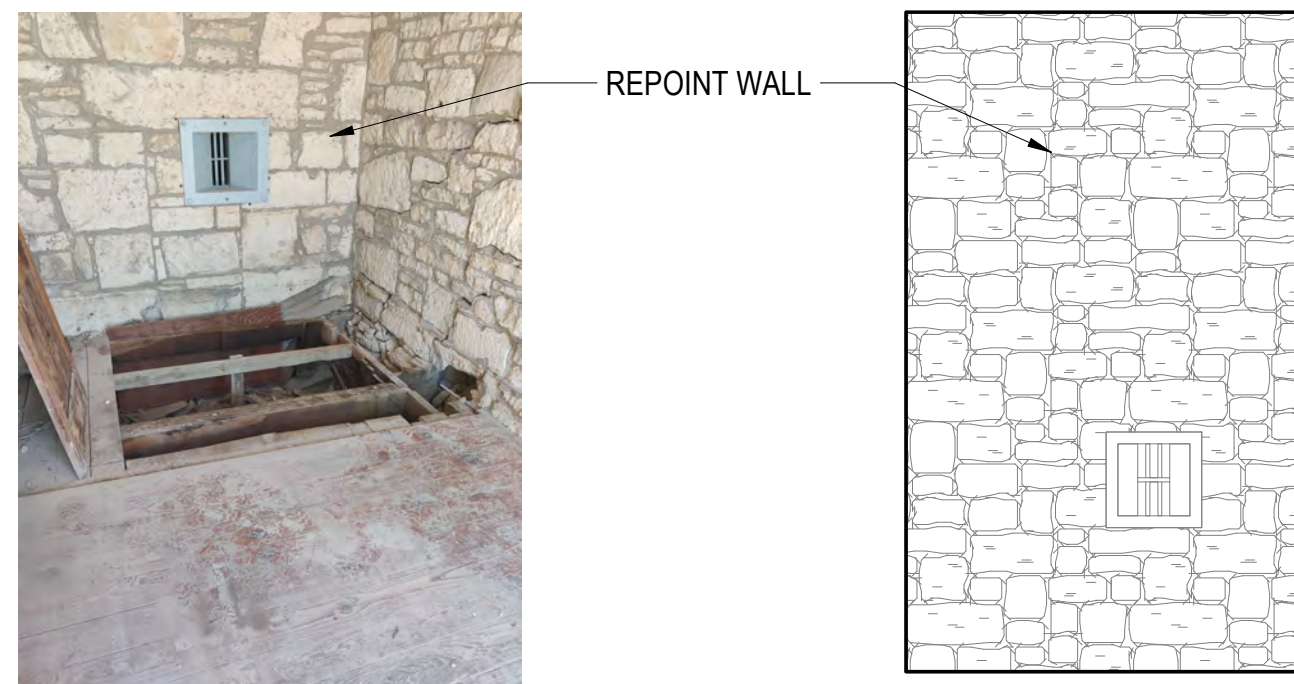
1 1877 COURTHOUSE - INTERIOR ELEVATION
1/4" = 1'-0"



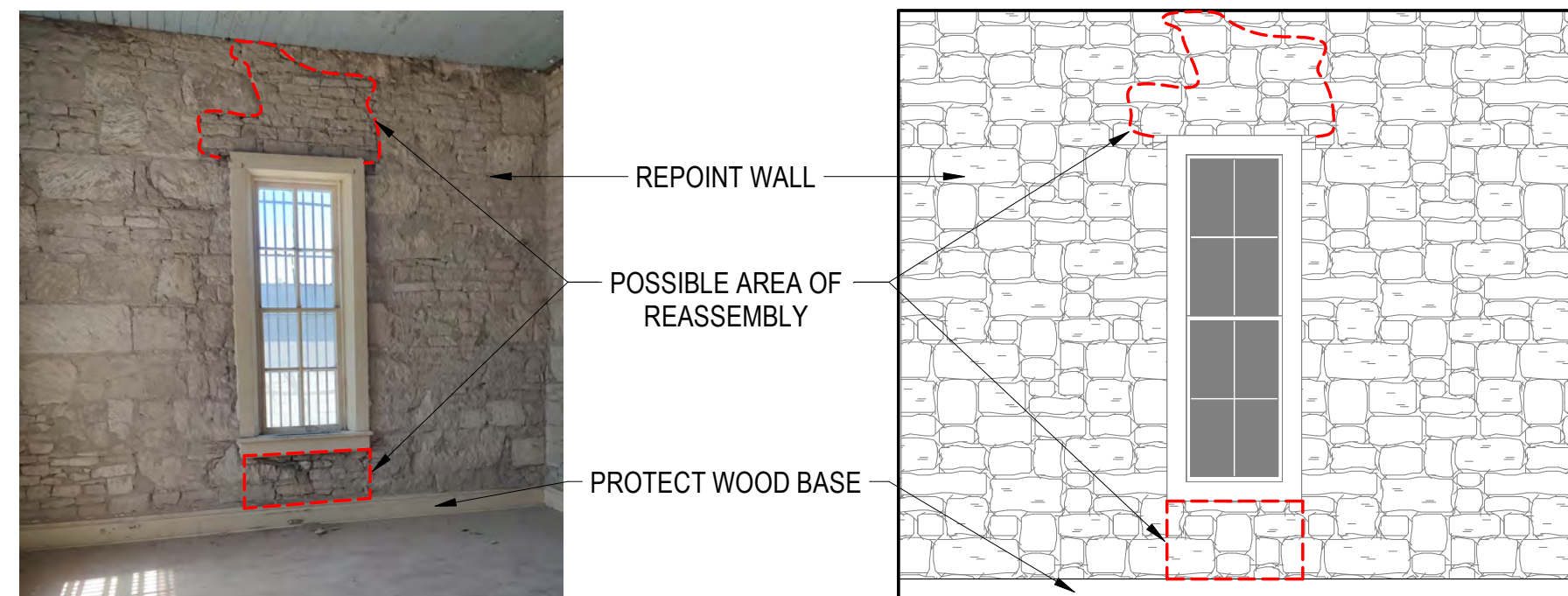
1 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



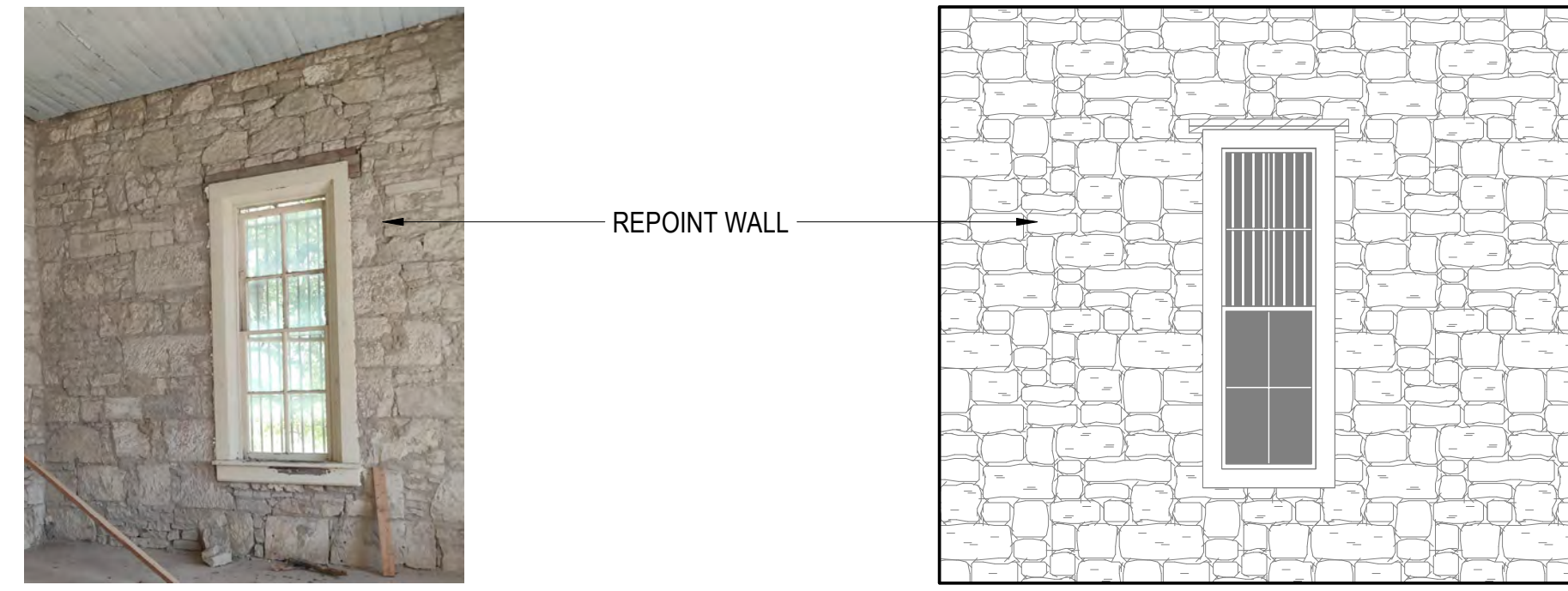
2 1881 JAIL - INTERIOR ELEVATION
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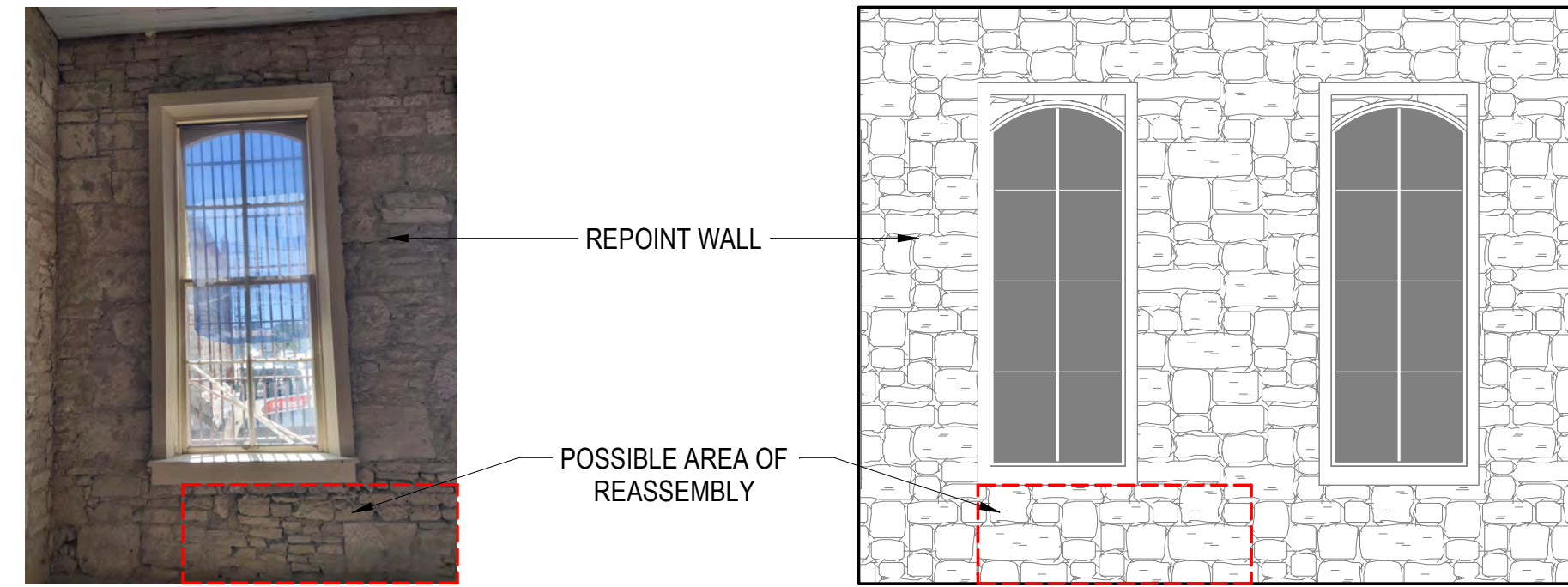
3 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



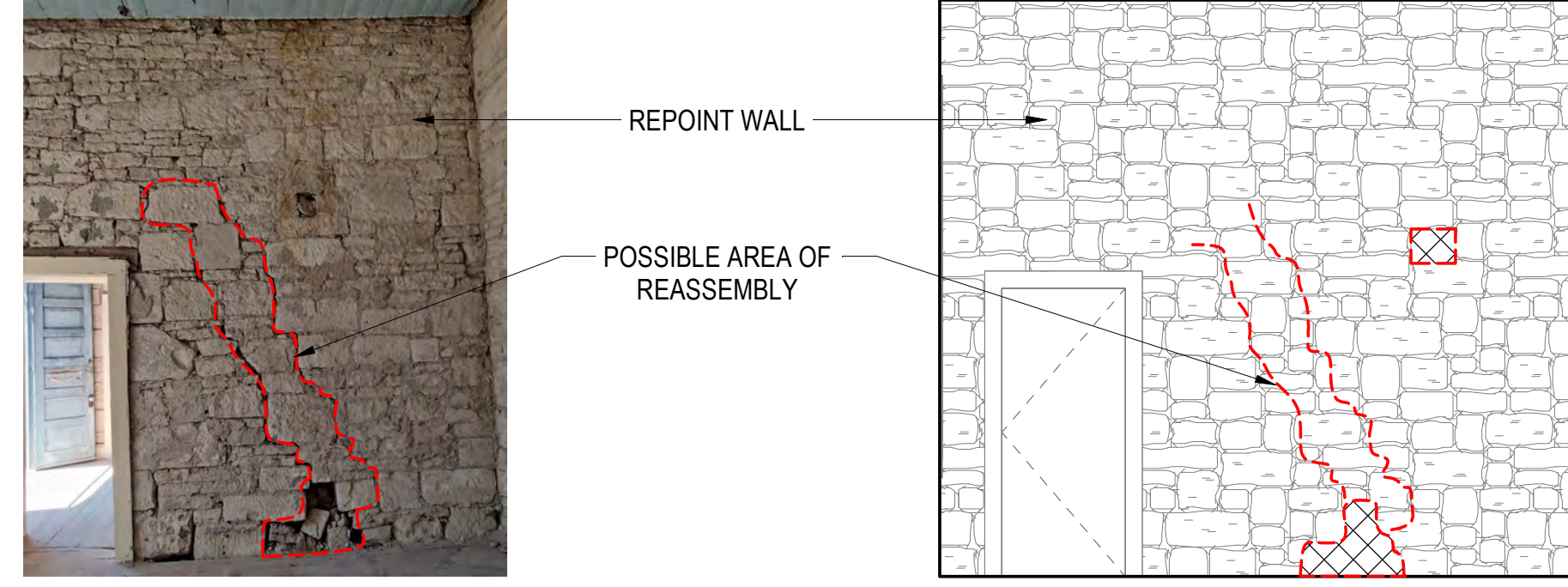
4 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



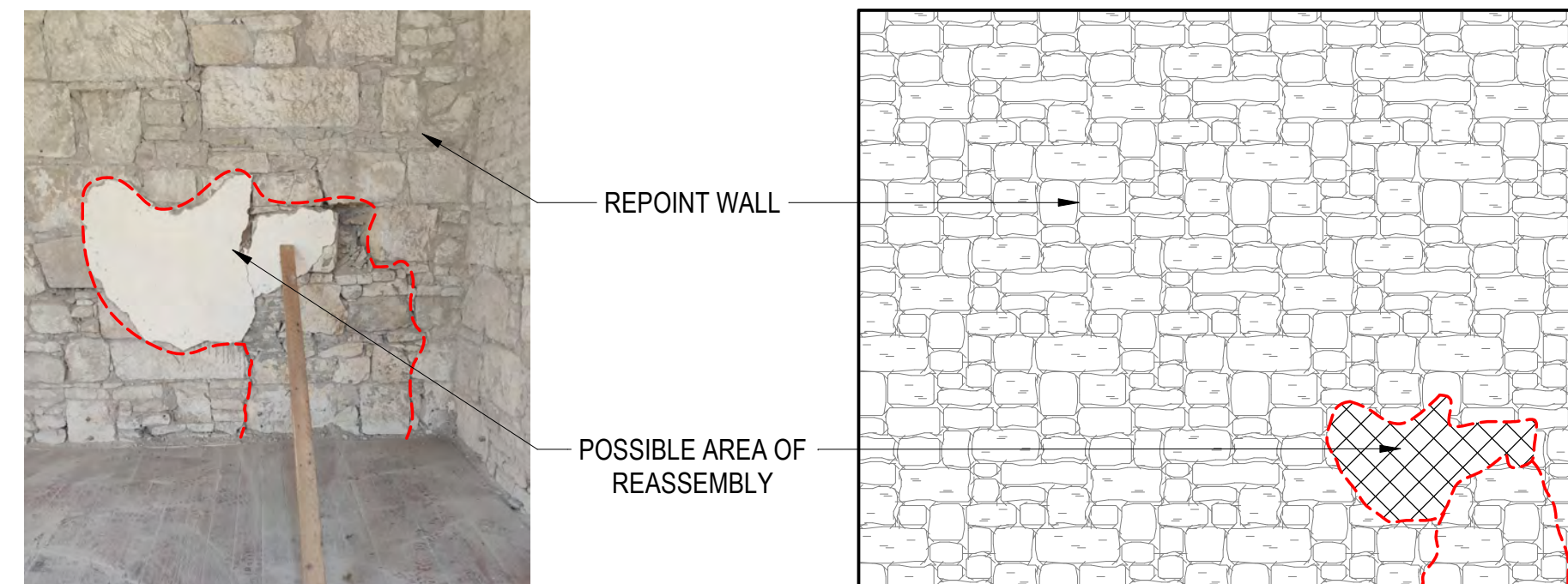
5 1881 JAIL - INTERIOR ELEVATION
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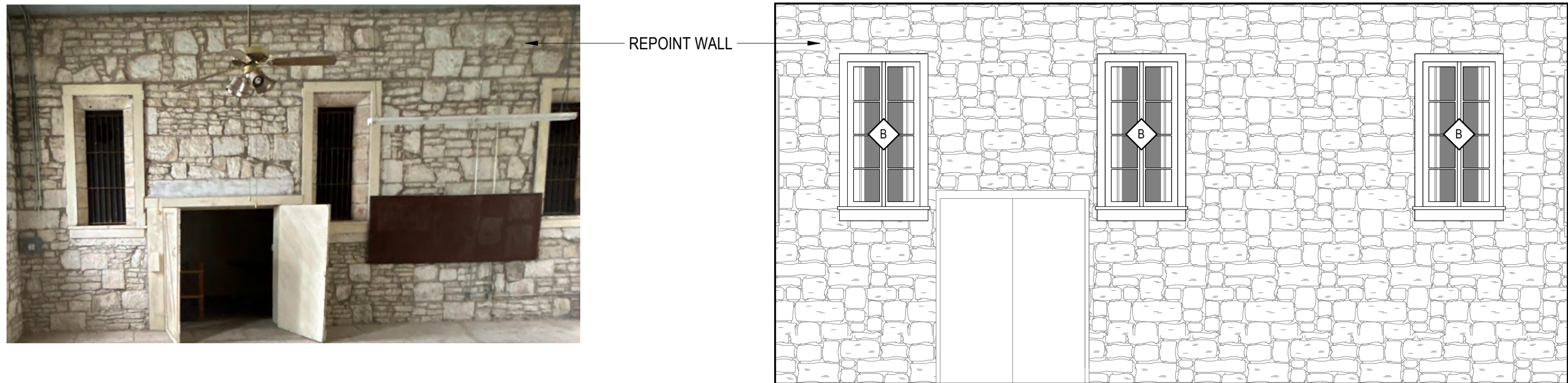
6 1881 JAIL - INTERIOR ELEVATION
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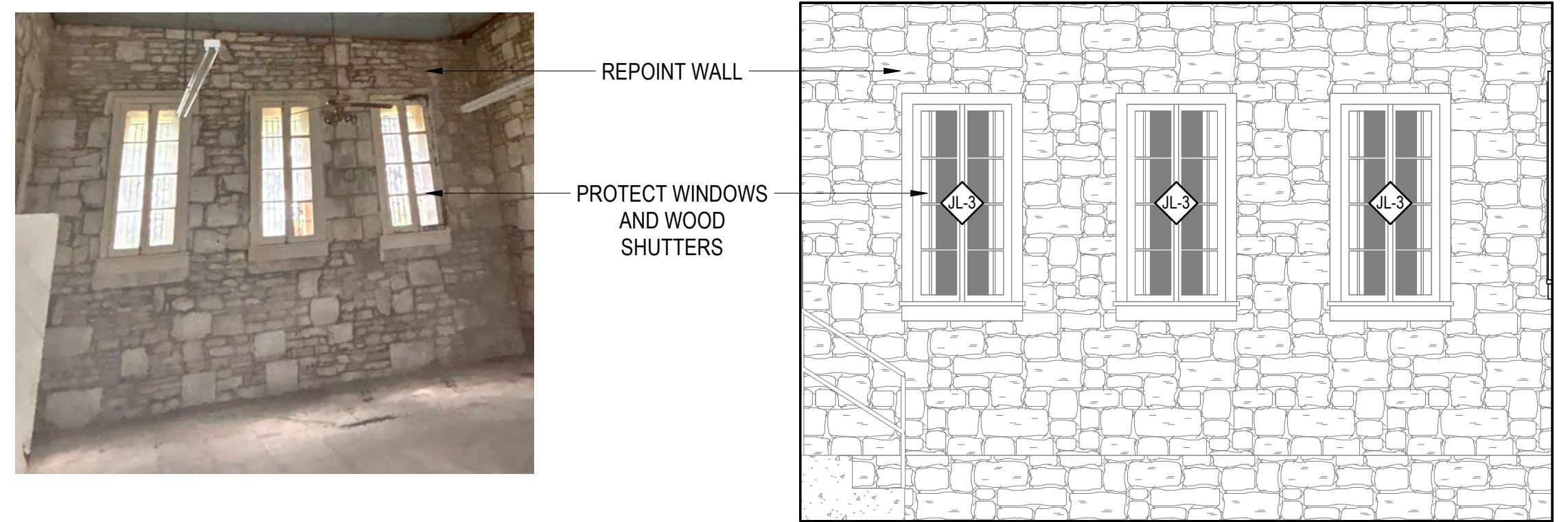
7 1881 JAIL - INTERIOR ELEVATION
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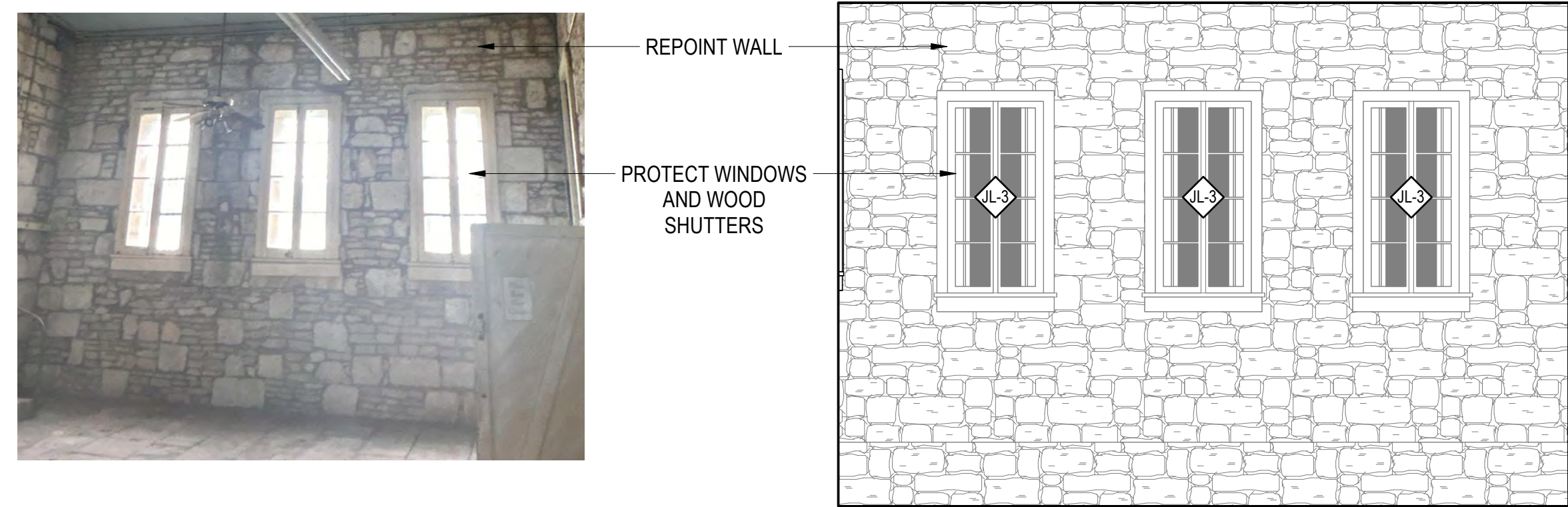
8 1881 JAIL - INTERIOR ELEVATION
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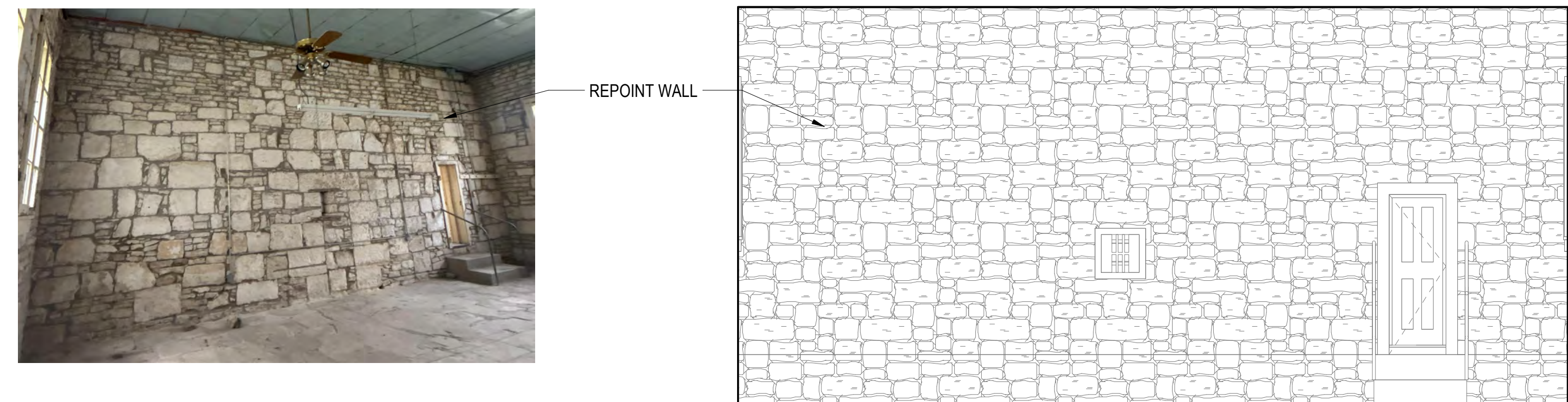
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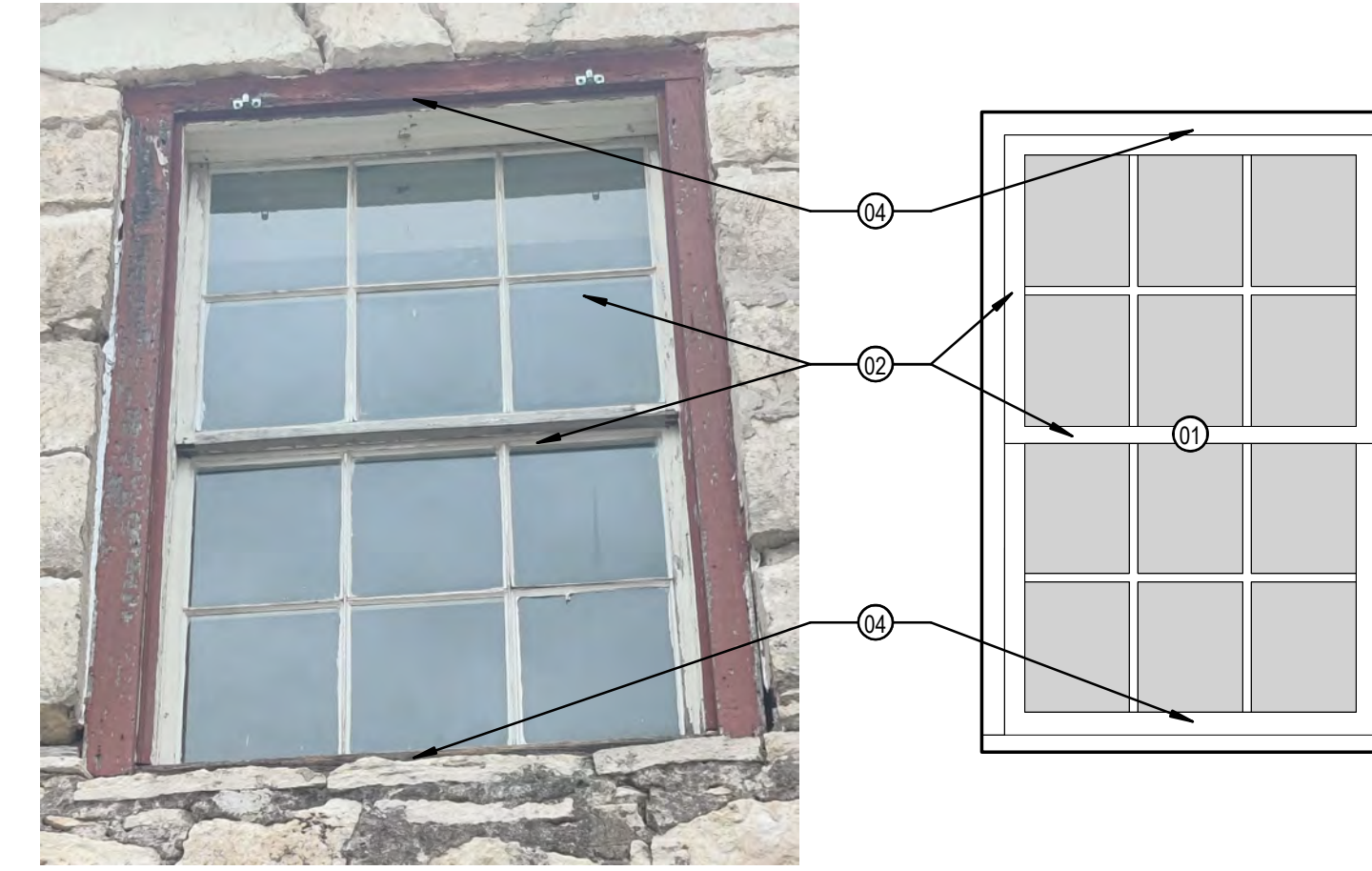
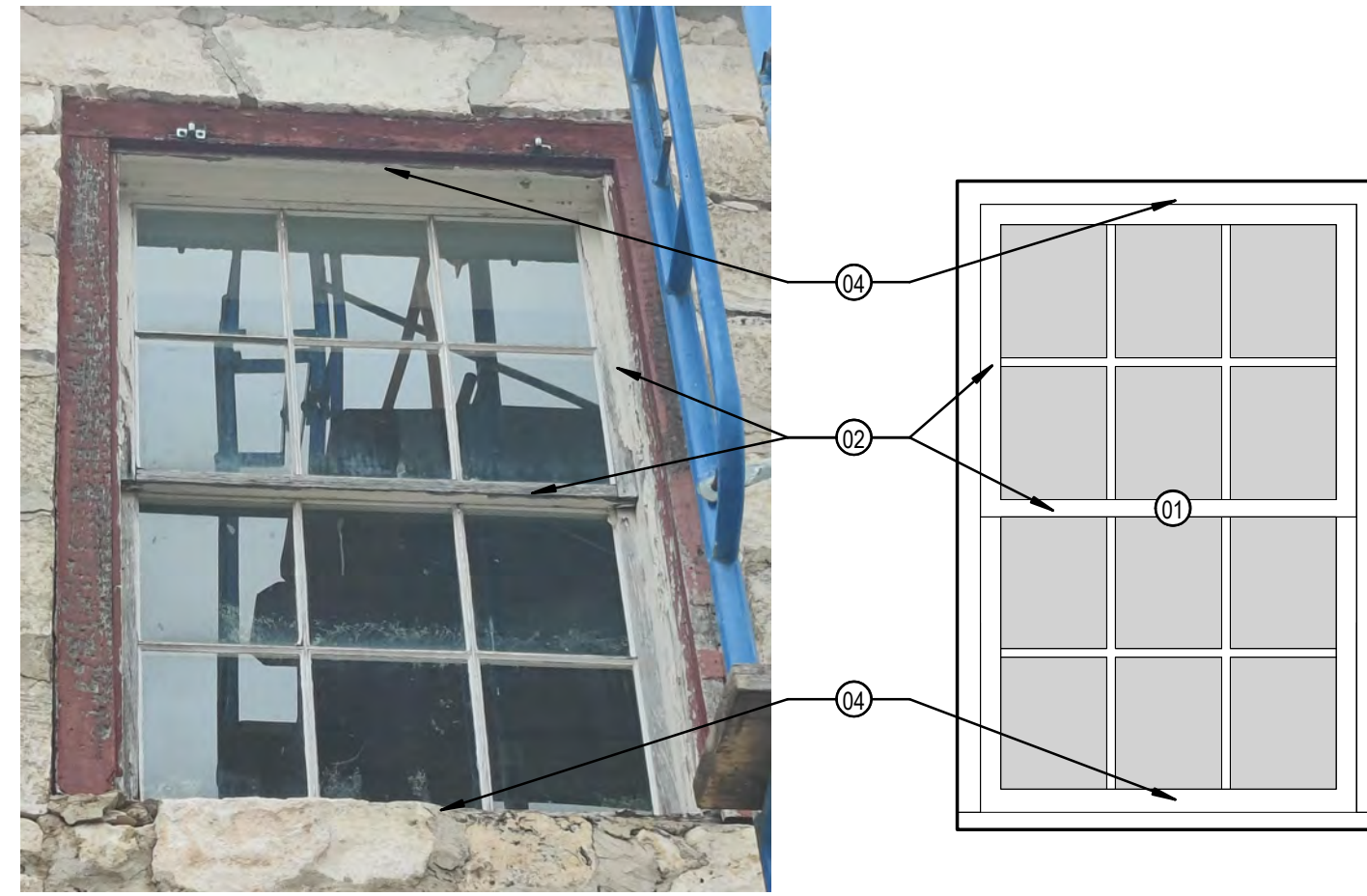
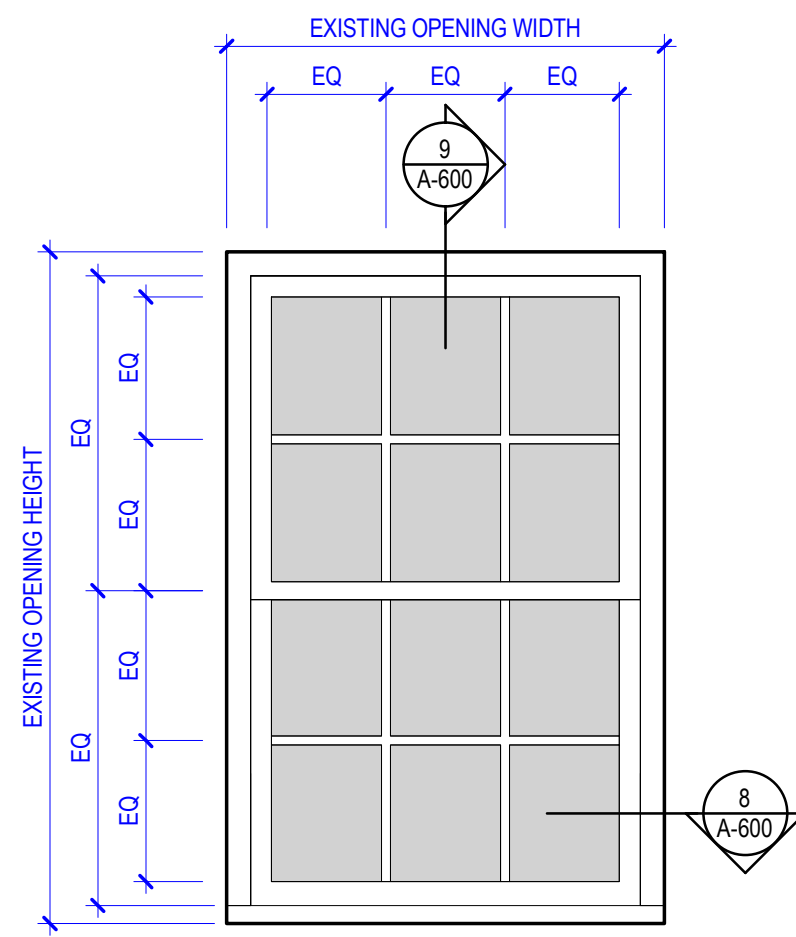
3 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



2 1881 JAIL - INTERIOR ELEVATION
1/4" = 1'-0"



1 1881 JAIL - INTERIOR ELEVATION
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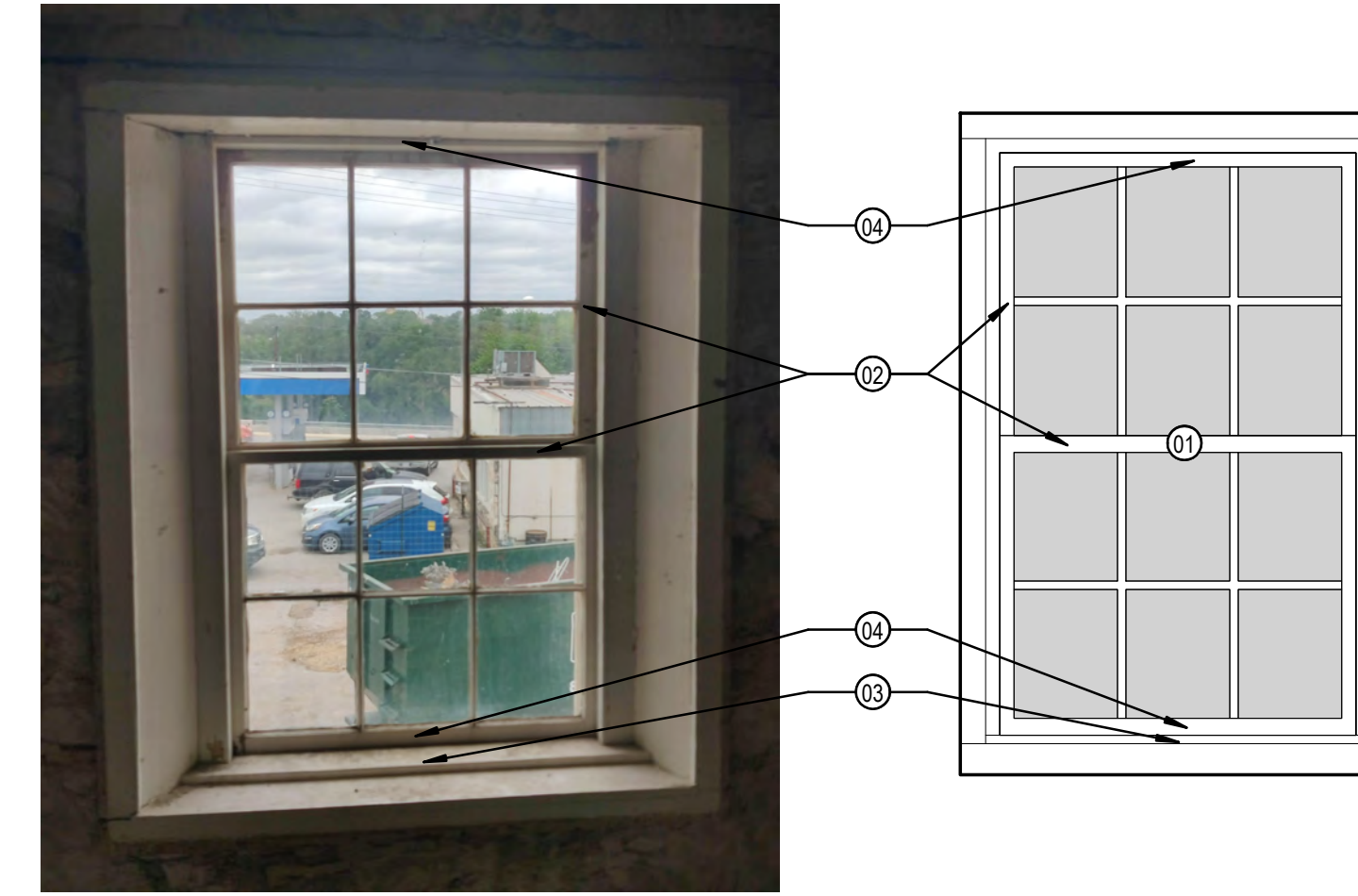
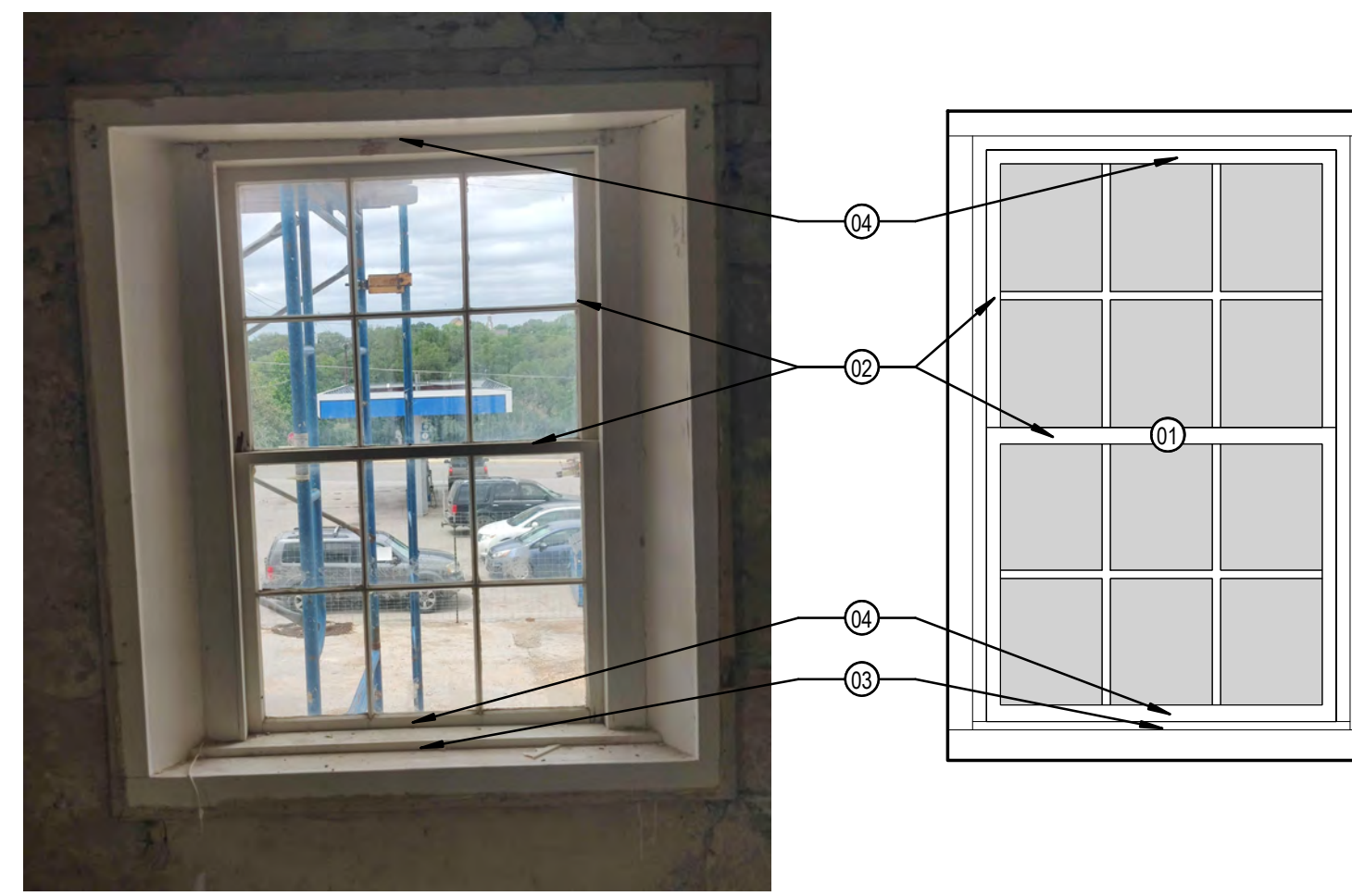
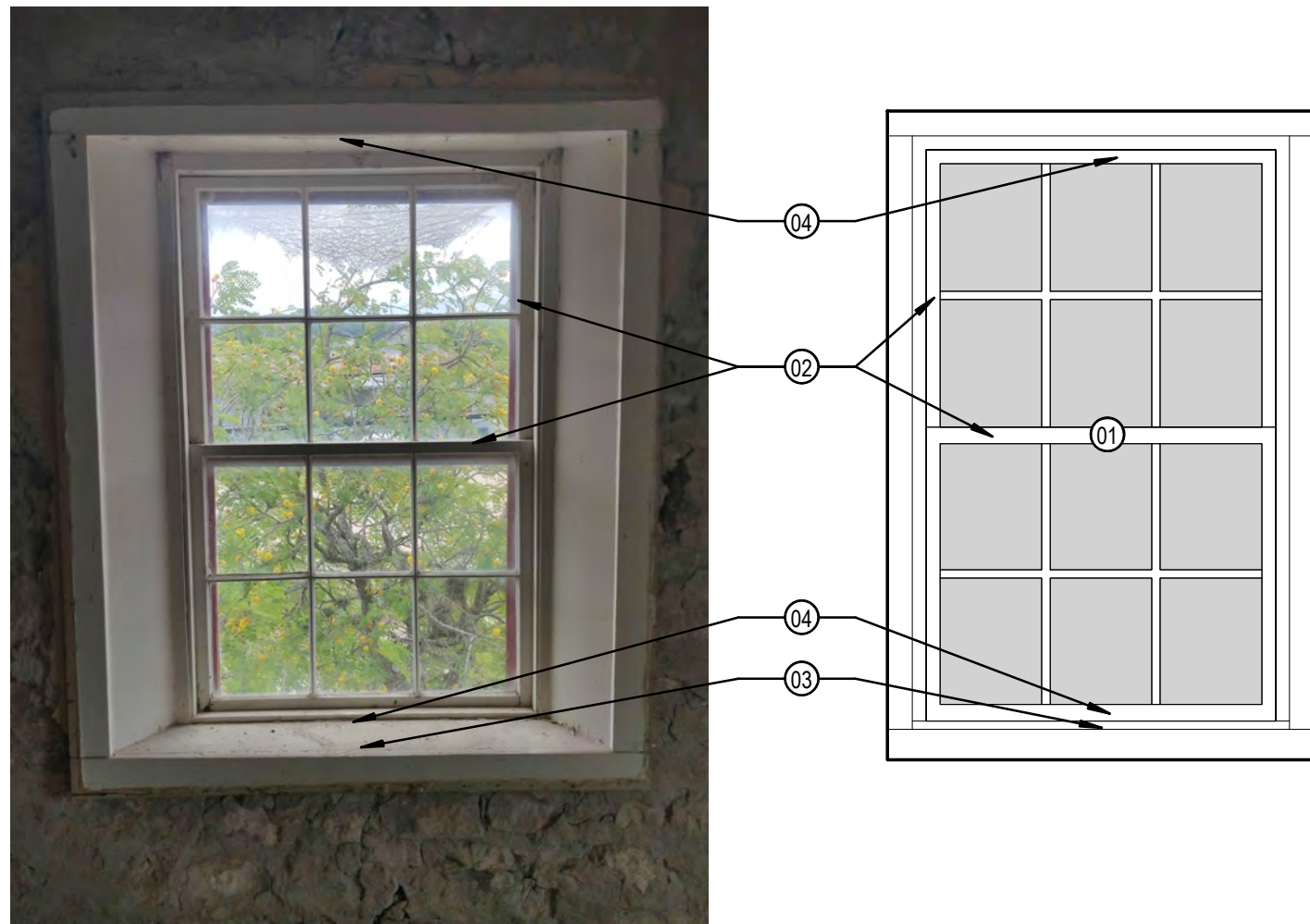
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1 TYPE-A
3/4" = 1'-0"

3 CH-2 EXTERIOR
3/4" = 1'-0"

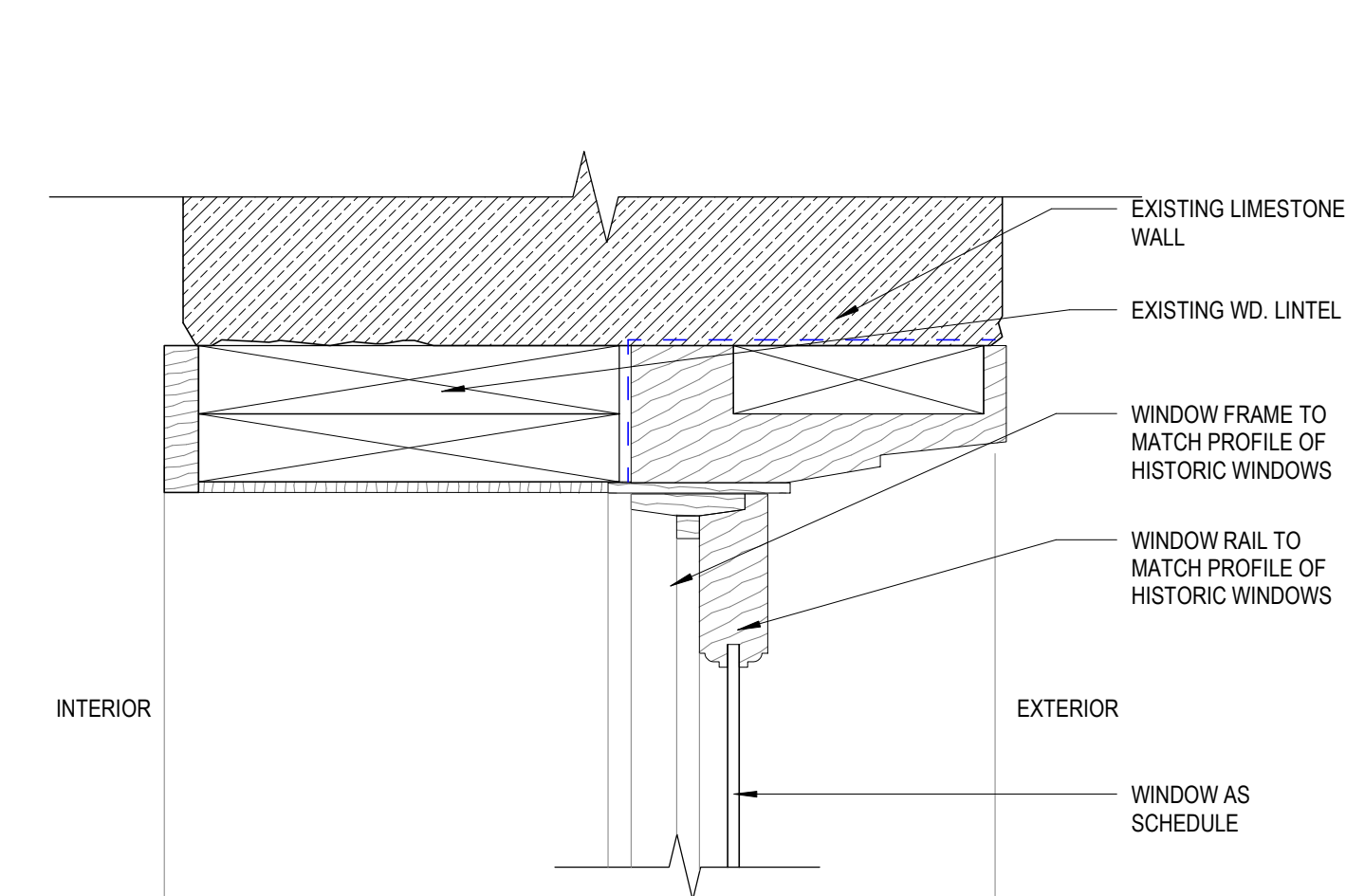
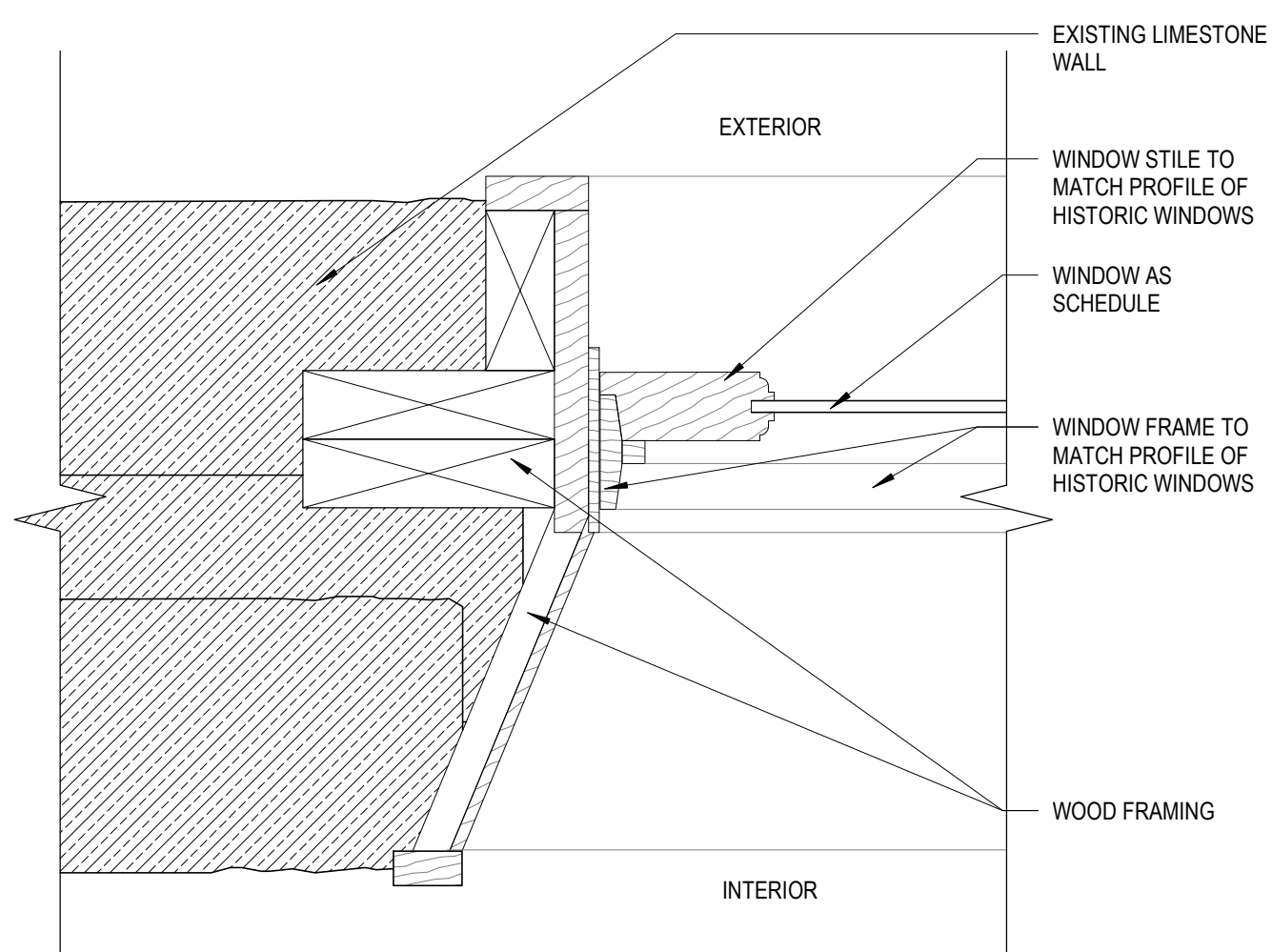
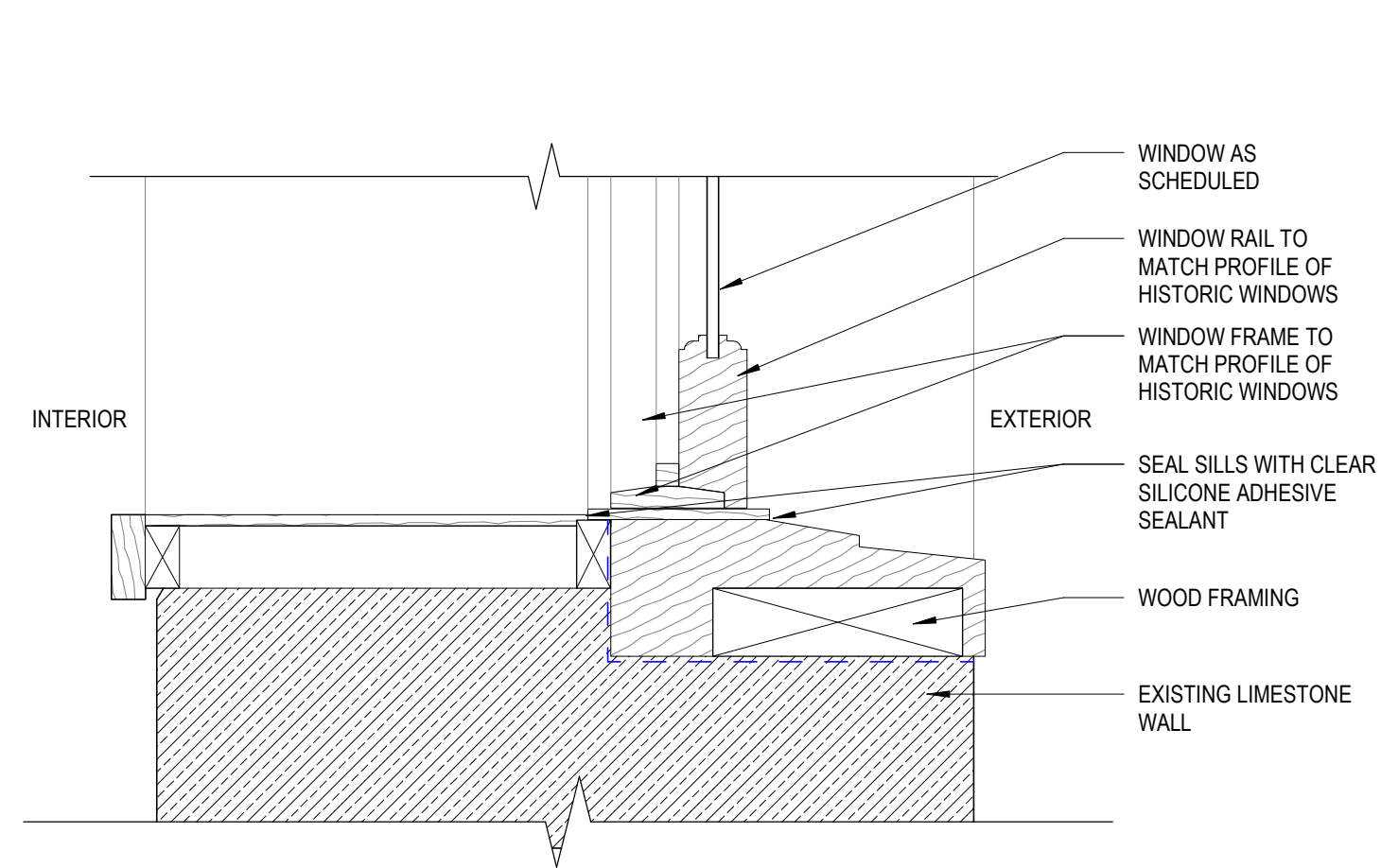
5 CH-3 EXTERIOR
3/4" = 1'-0"



2 CH-1 INTERIOR
3/4" = 1'-0"

4 CH-2 INTERIOR
3/4" = 1'-0"

6 CH-3 INTERIOR
3/4" = 1'-0"



7 WINDOW SILL DETAIL
3" = 1'-0"

8 WINDOW JAMB DETAIL
3" = 1'-0"

9 WINDOW HEAD DETAIL
3" = 1'-0"

Fisher Heck
ARCHITECTS

915 SOUTH ST. MARY'S STREET
SAN ANTONIO, TEXAS 78205
210-290-1500

REGISTERED ARCHITECT
STATE OF TEXAS
29920

8/08/24

PROJECT: **BANDERA COUNTY VISITOR CENTER**

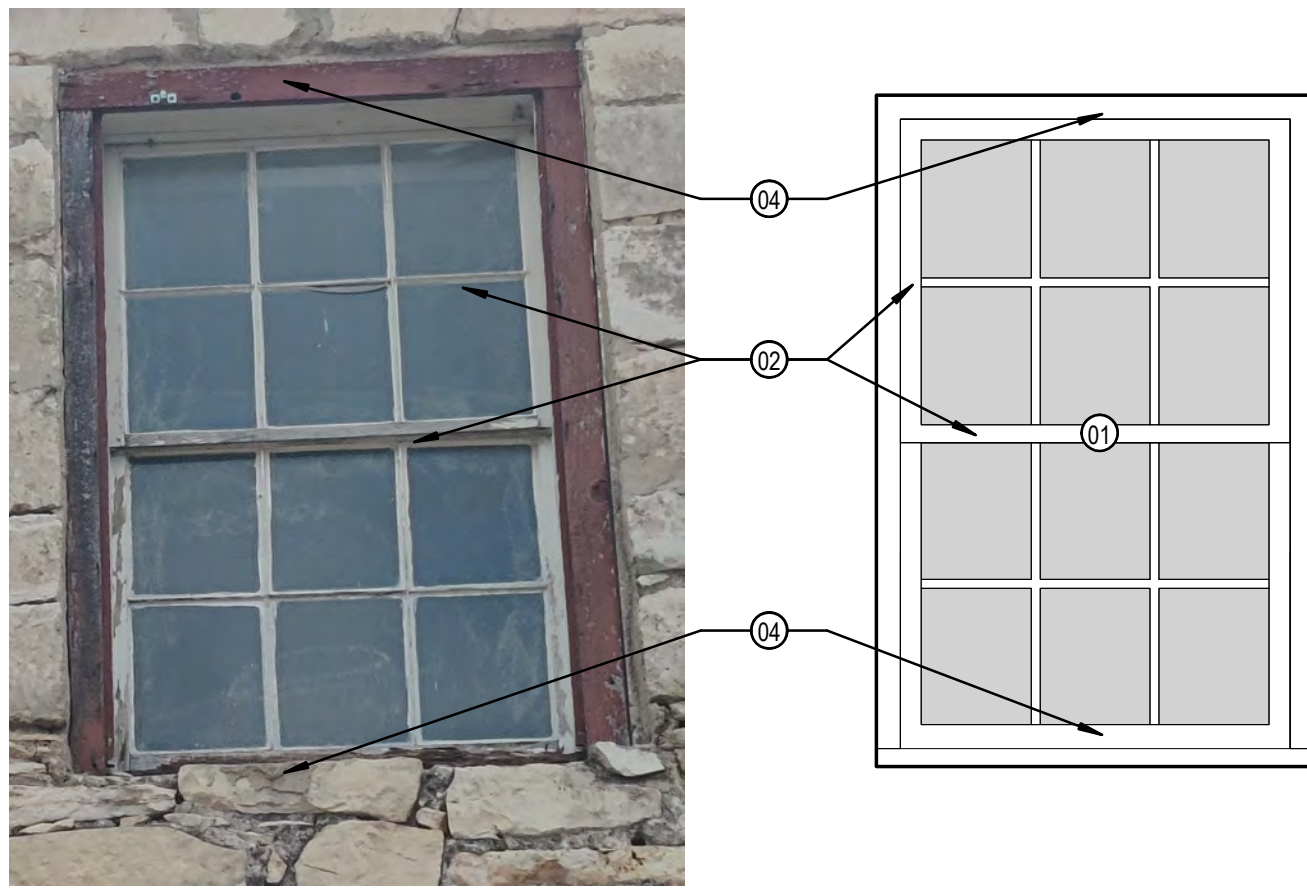
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PROJECT NO: 2301 A1

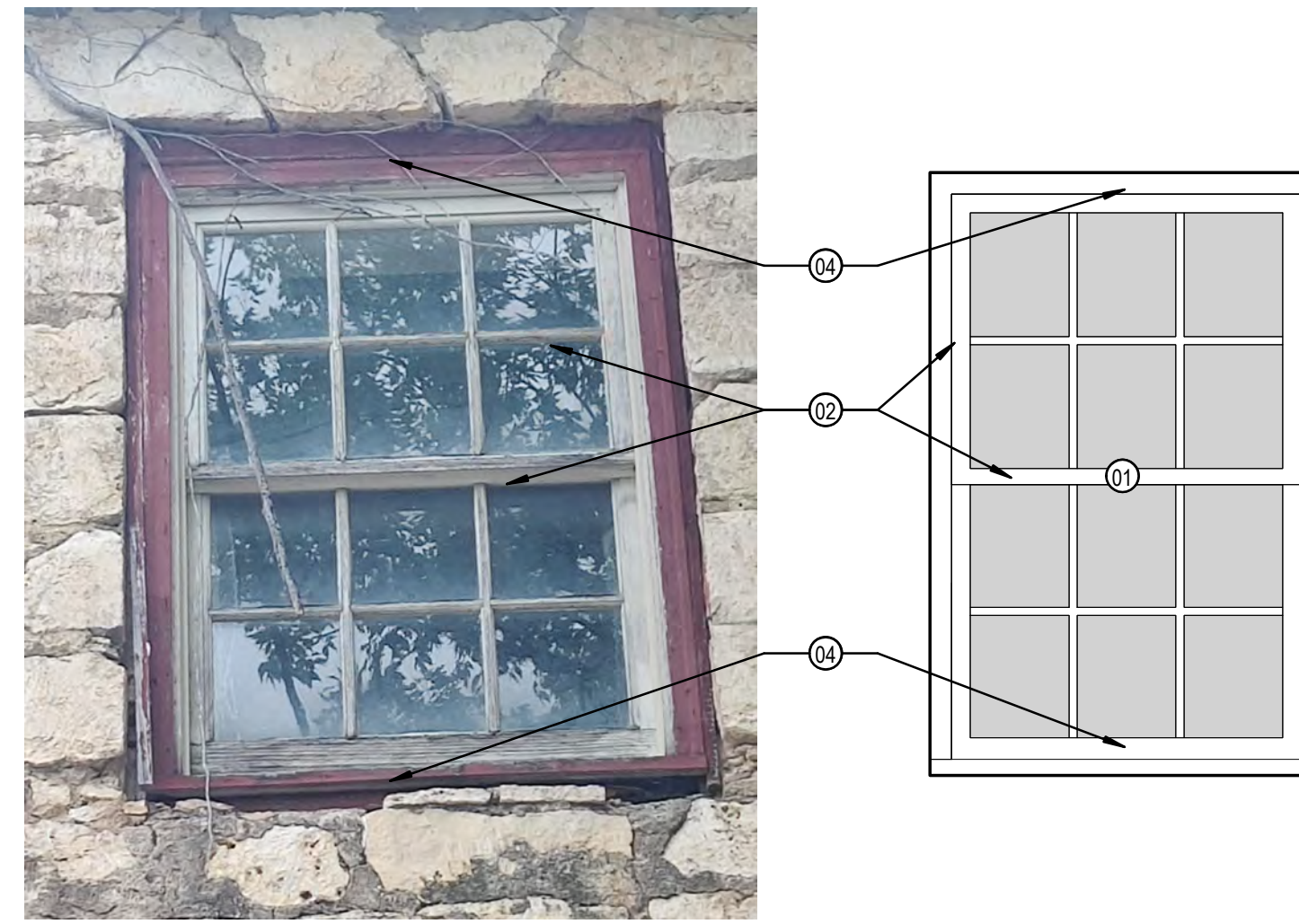
REVISIONS DATE

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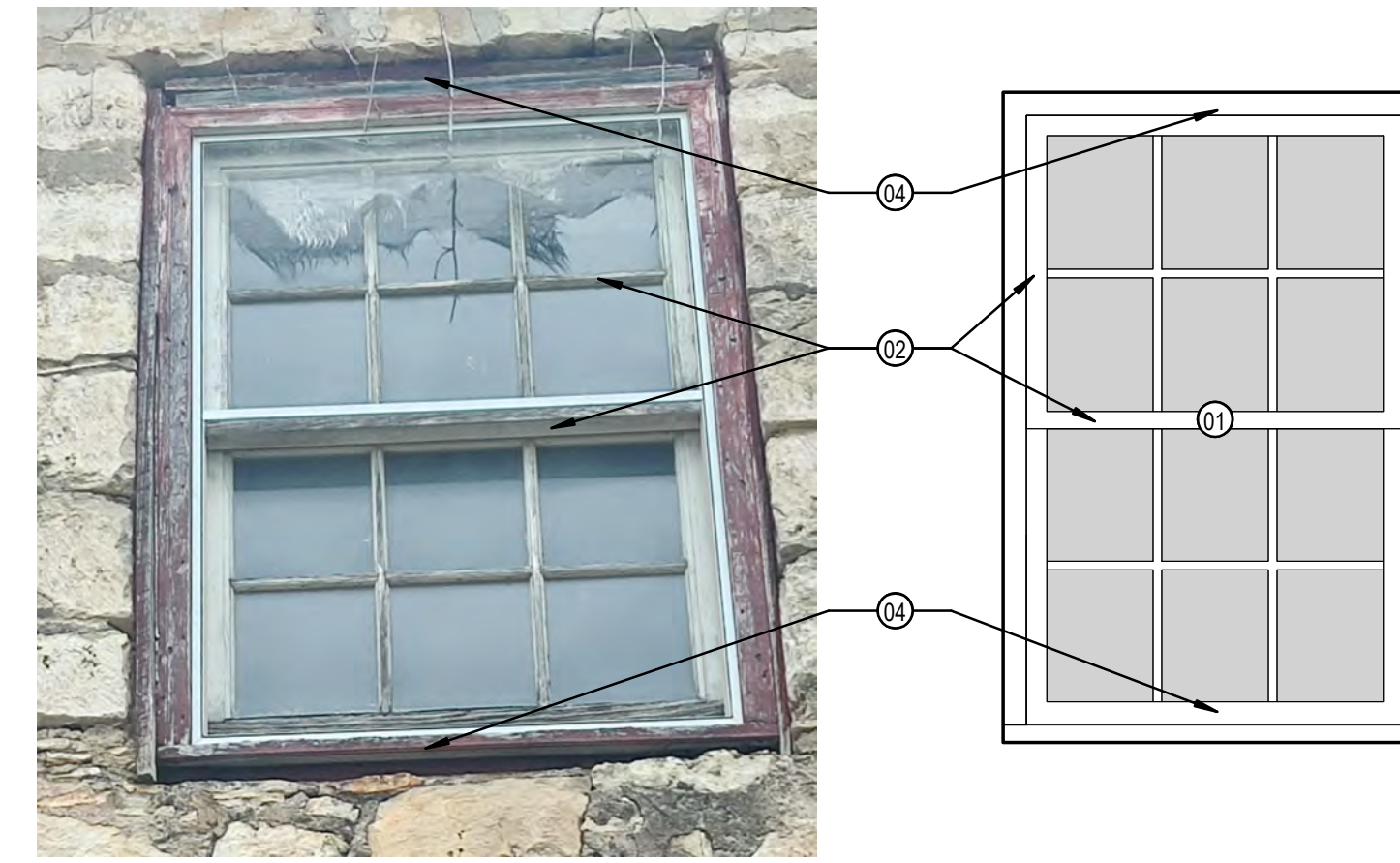
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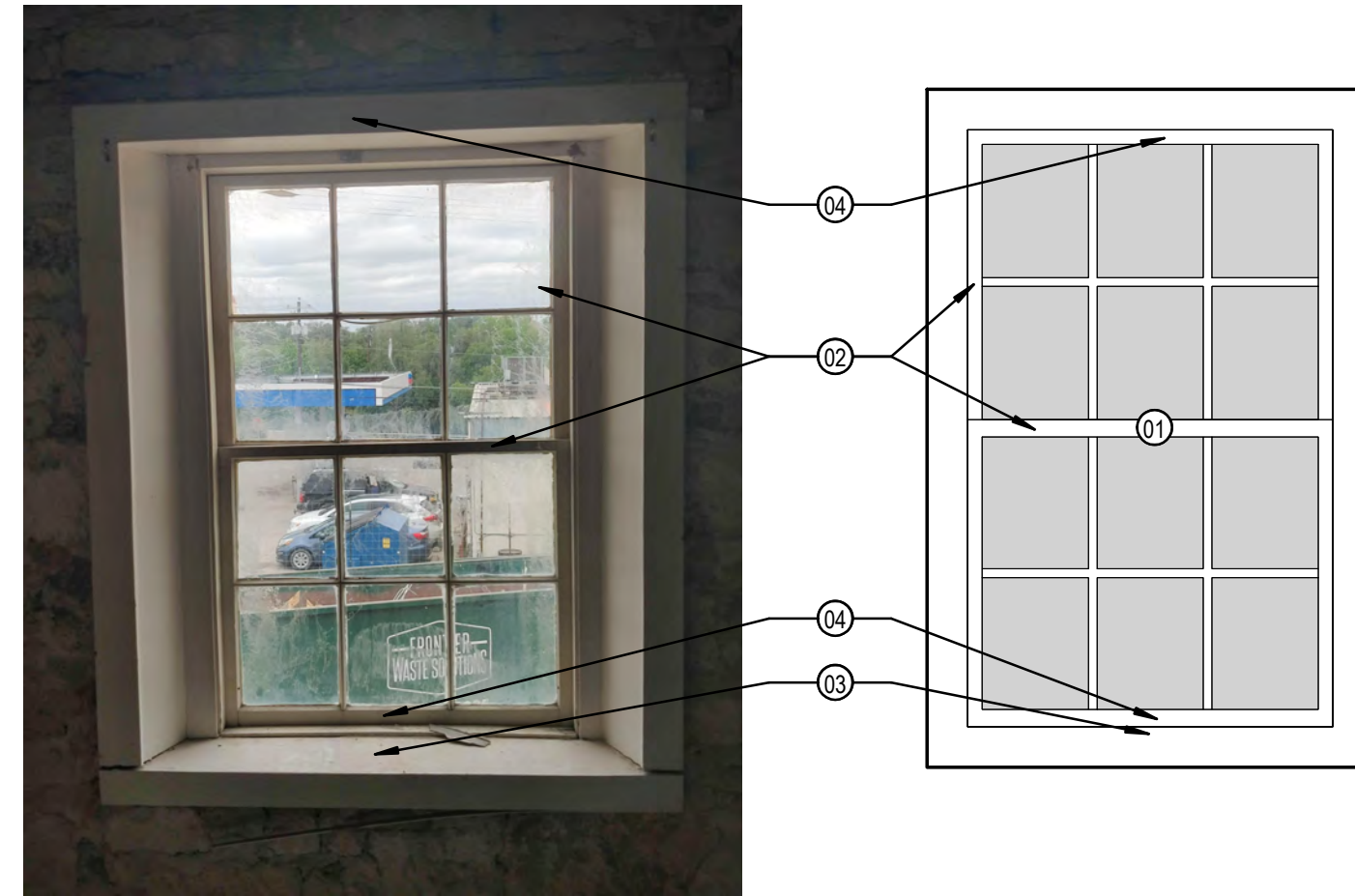
1 CH-4 EXTERIOR
3/4" = 1'-0"



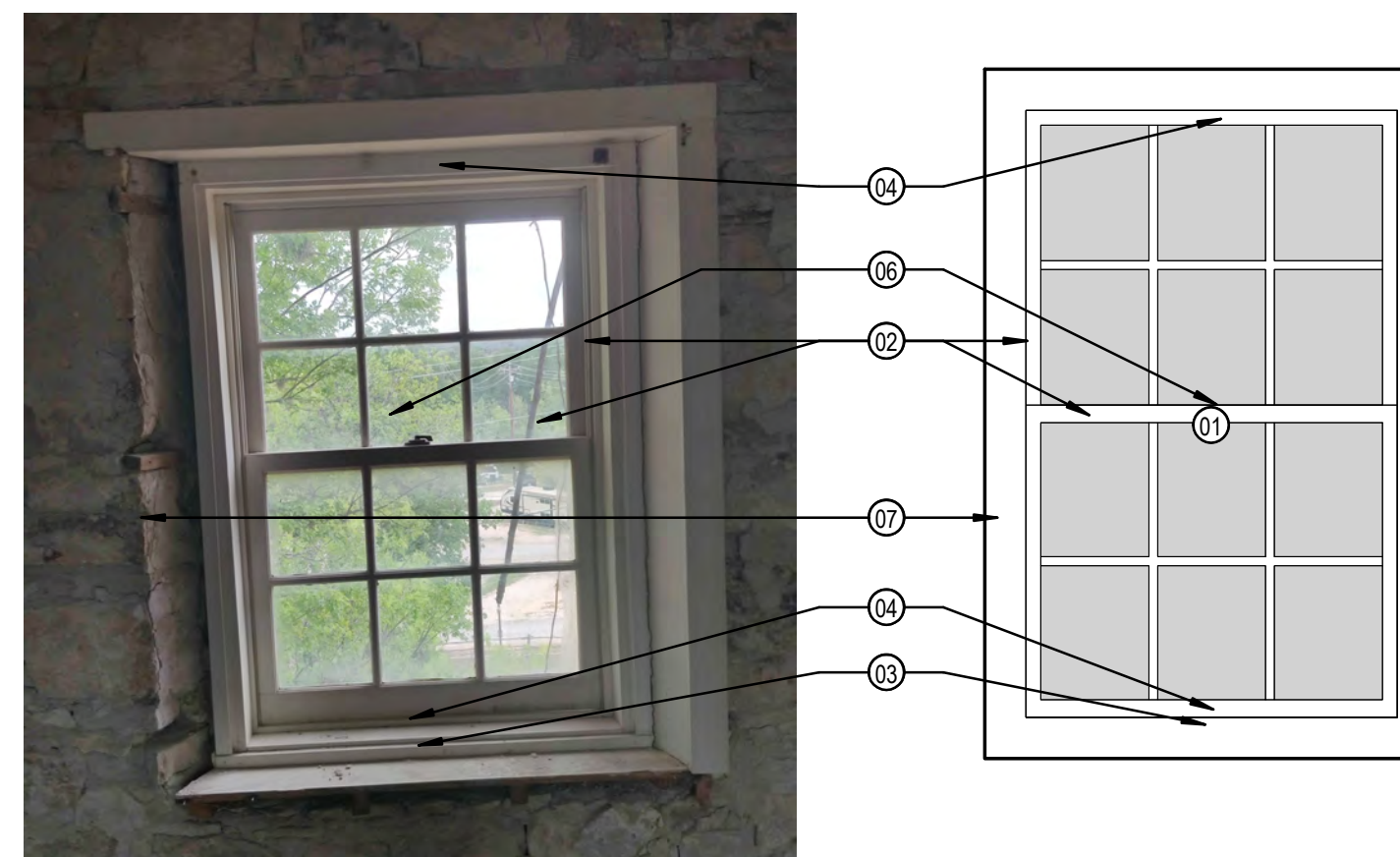
3 CH-5 EXTERIOR
3/4" = 1'-0"



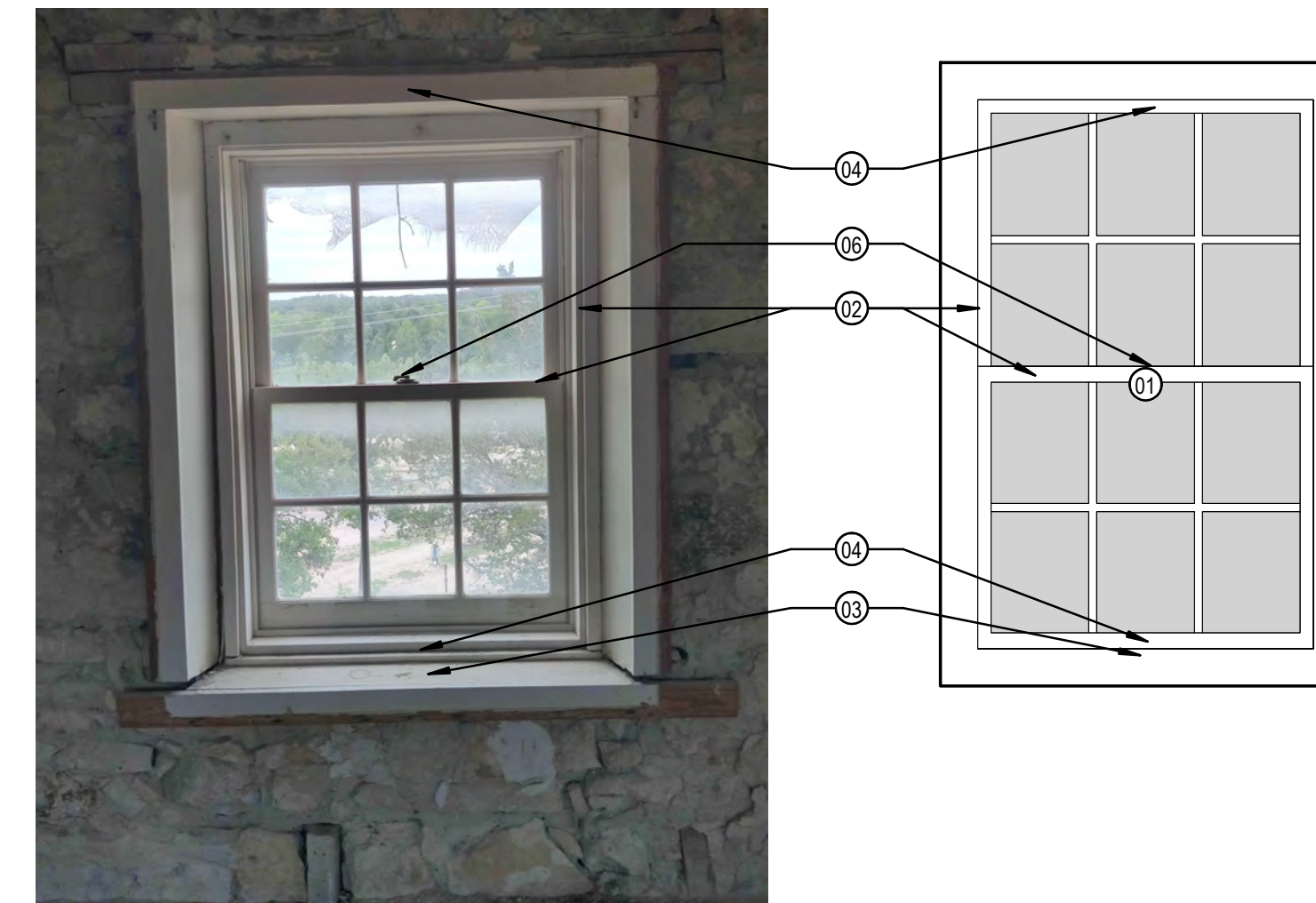
5 CH-6 EXTERIOR
3/4" = 1'-0"



2 CH-4 INTERIOR
3/4" = 1'-0"



4 CH-5 INTERIOR
3/4" = 1'-0"



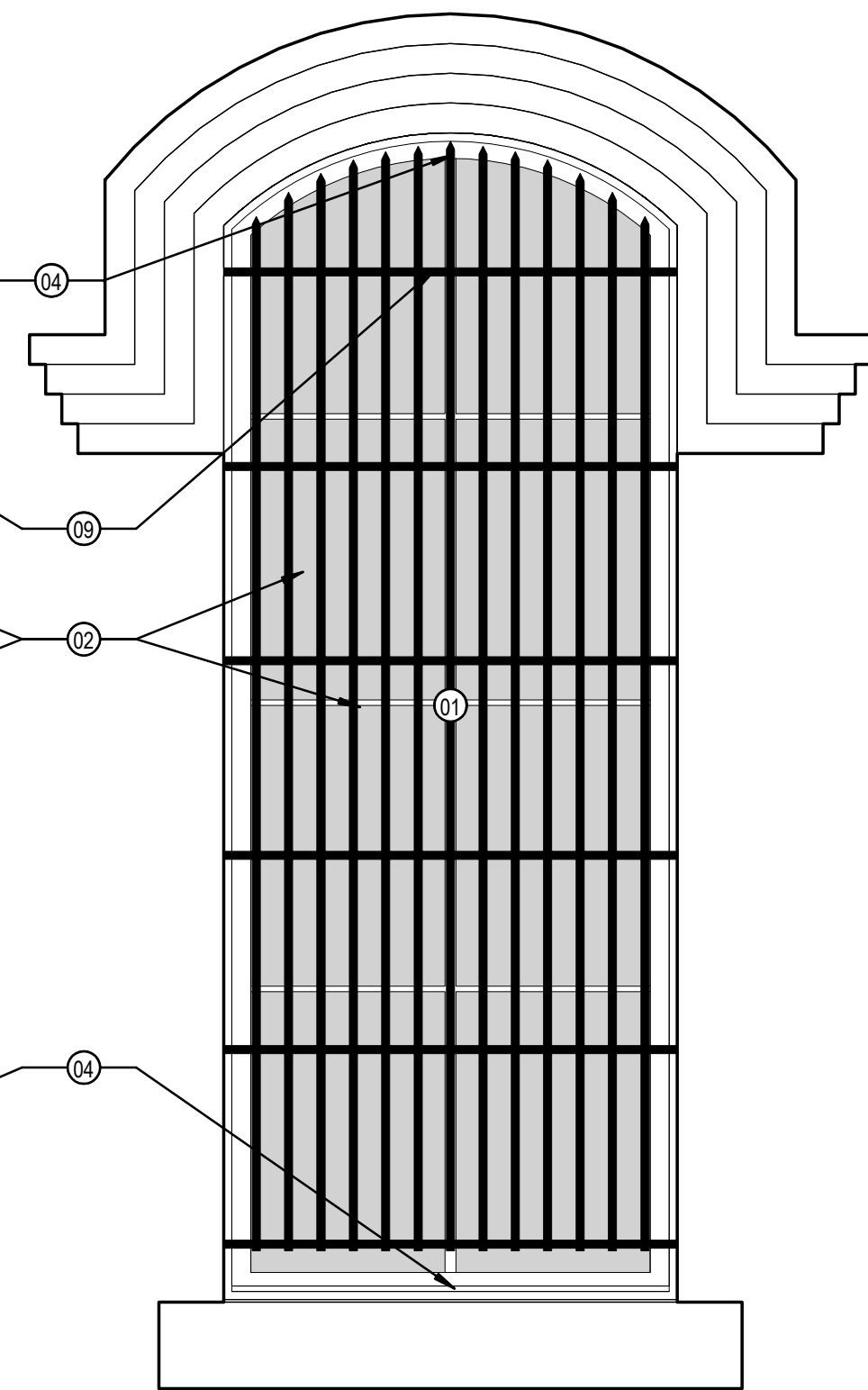
6 CH-6 INTERIOR
3/4" = 1'-0"

GENERAL NOTES

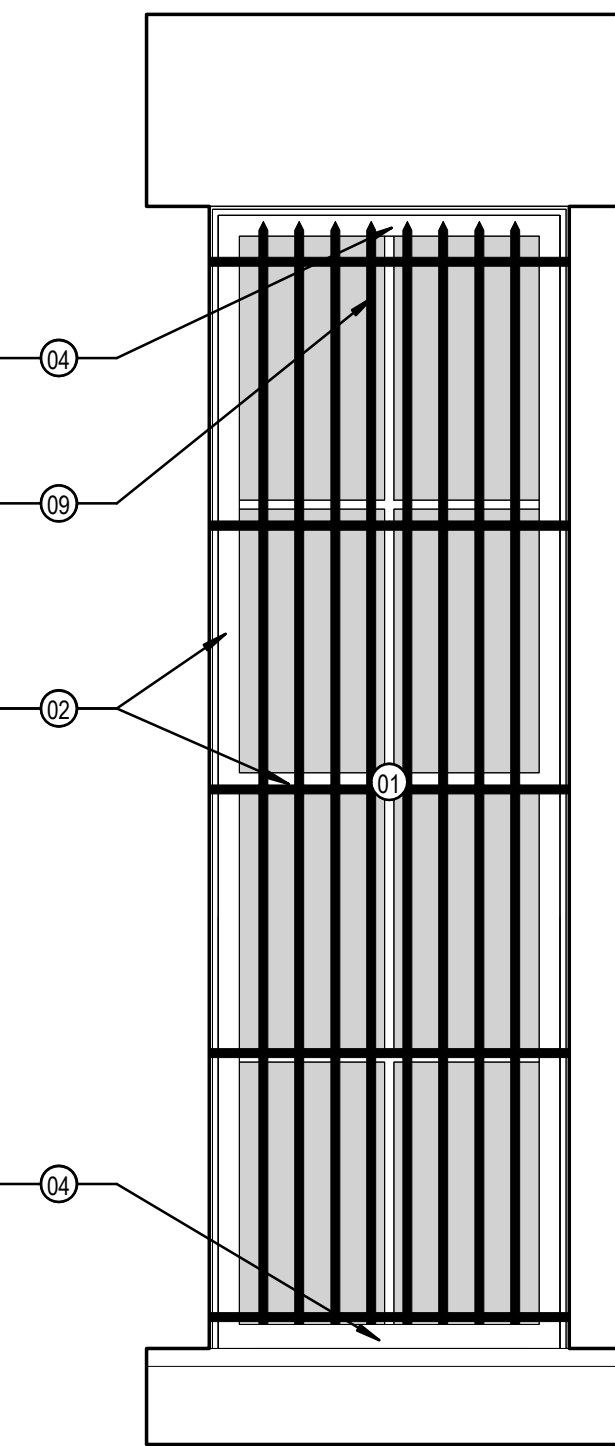
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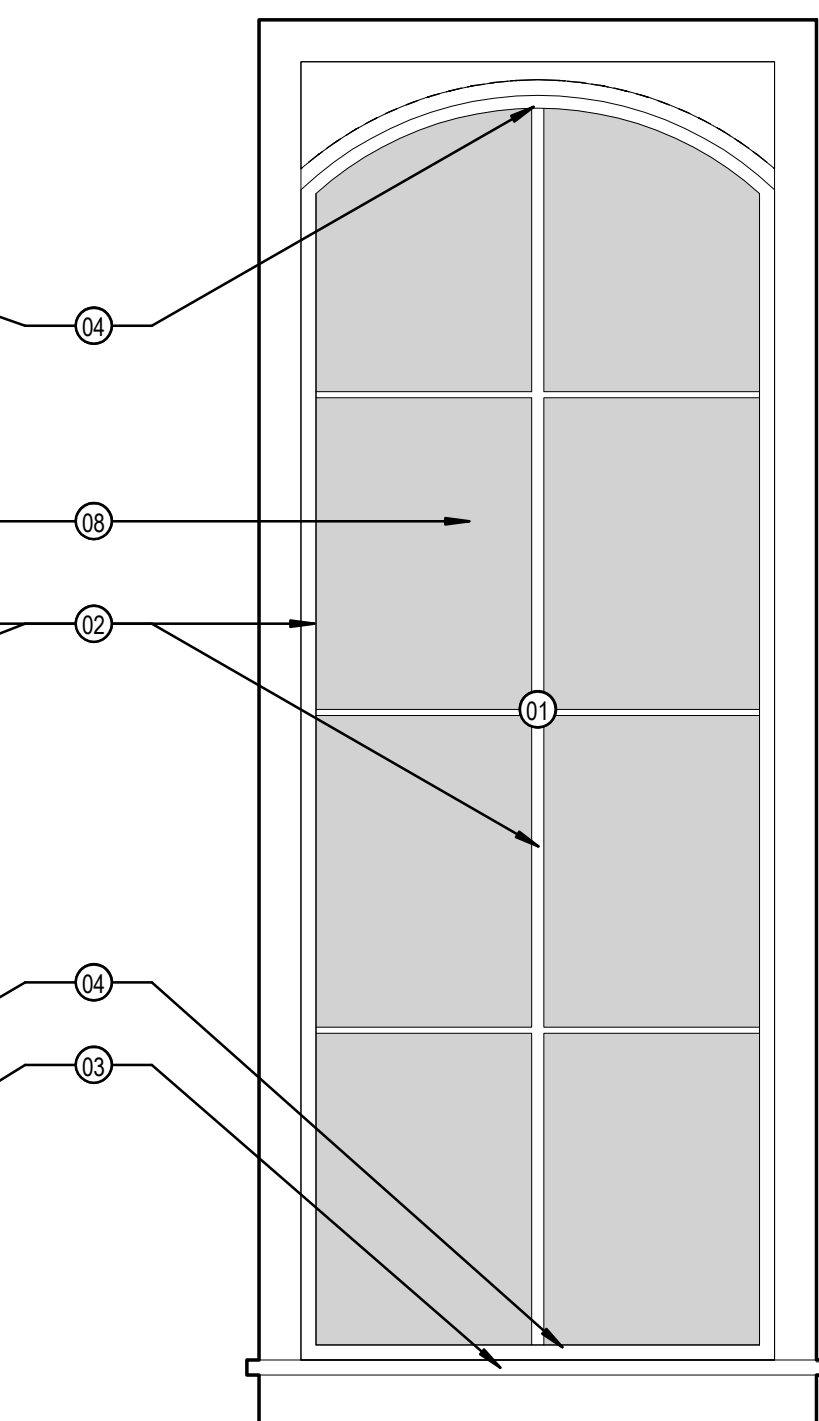
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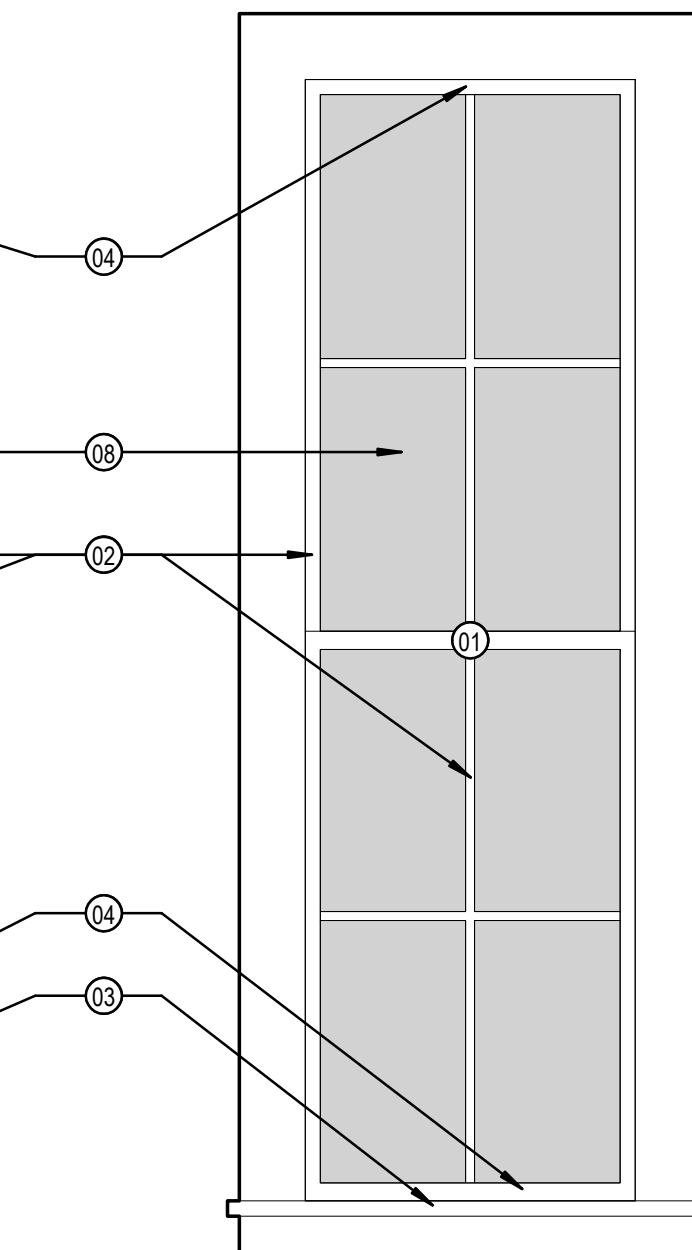
1 JL-1 EXTERIOR
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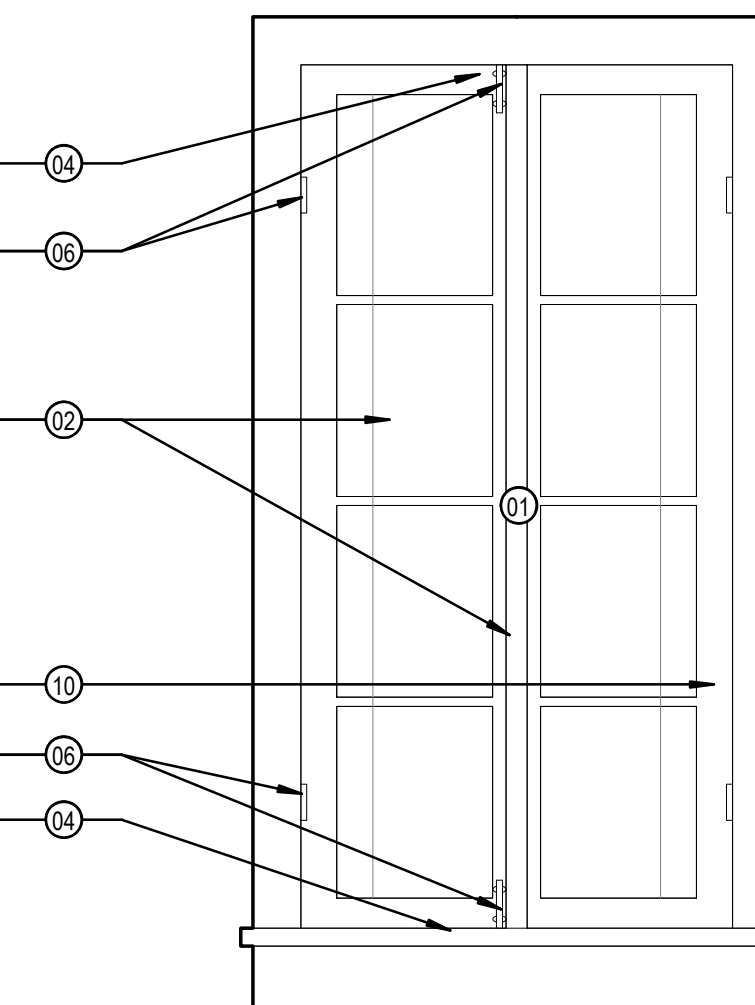
3 JL-2 EXTERIOR
3/4" = 1'-0"



2 JL-1 INTERIOR
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5 JL-3 INTERIOR
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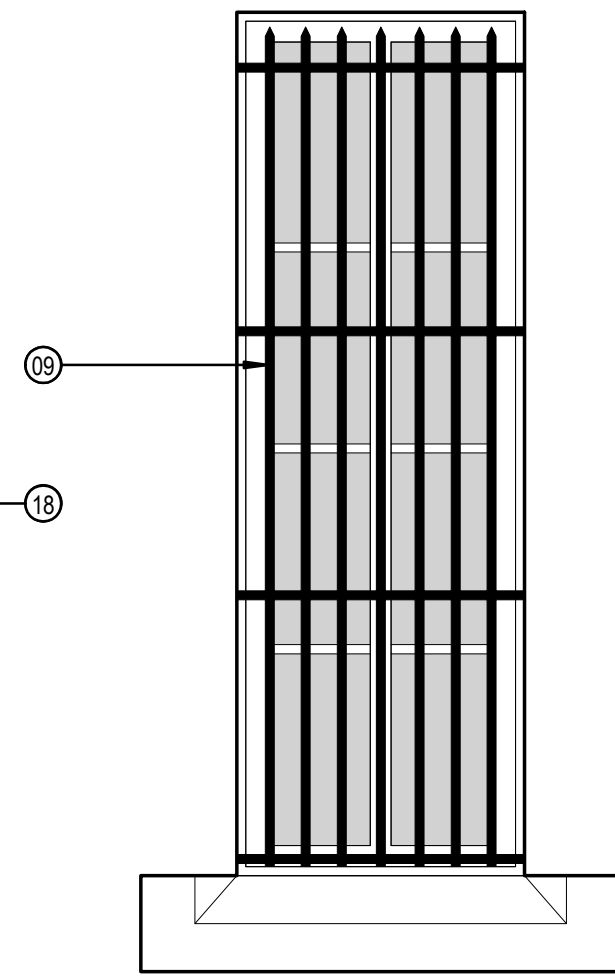
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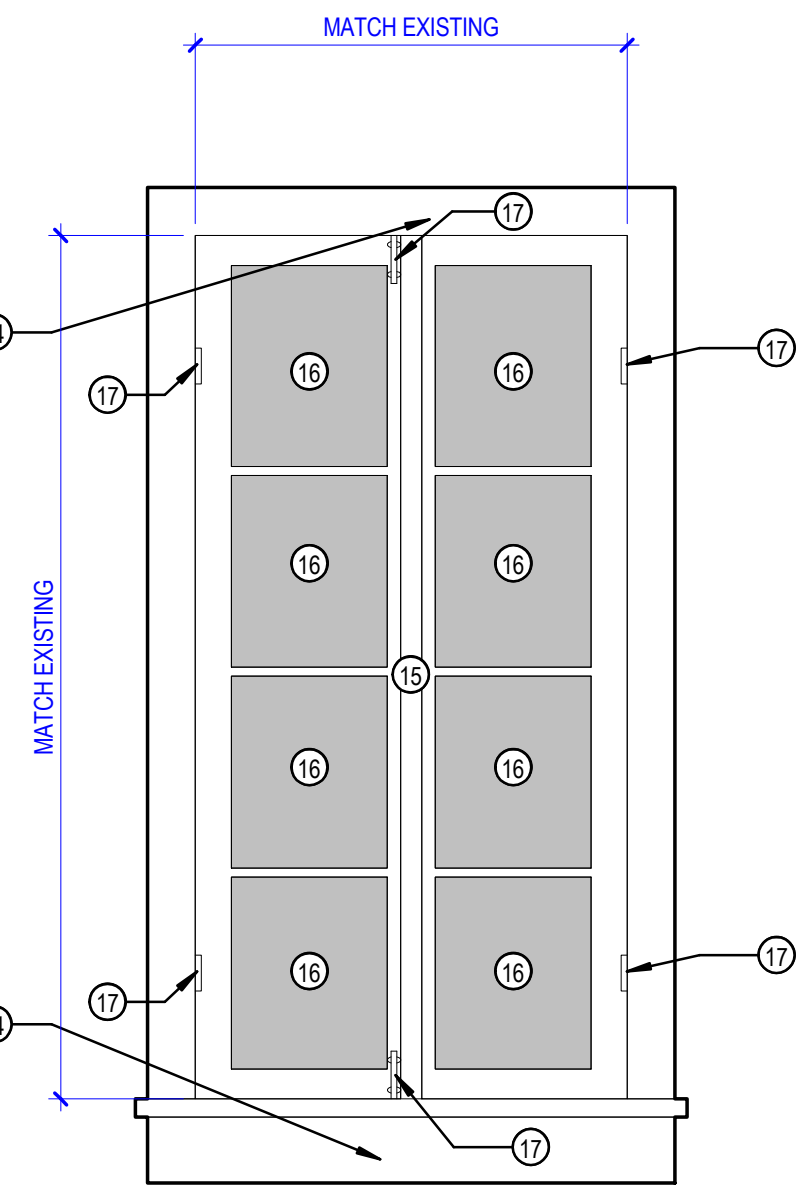
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8/08/24



1 TYPE B EXTERIOR
3/4" = 1'-0"

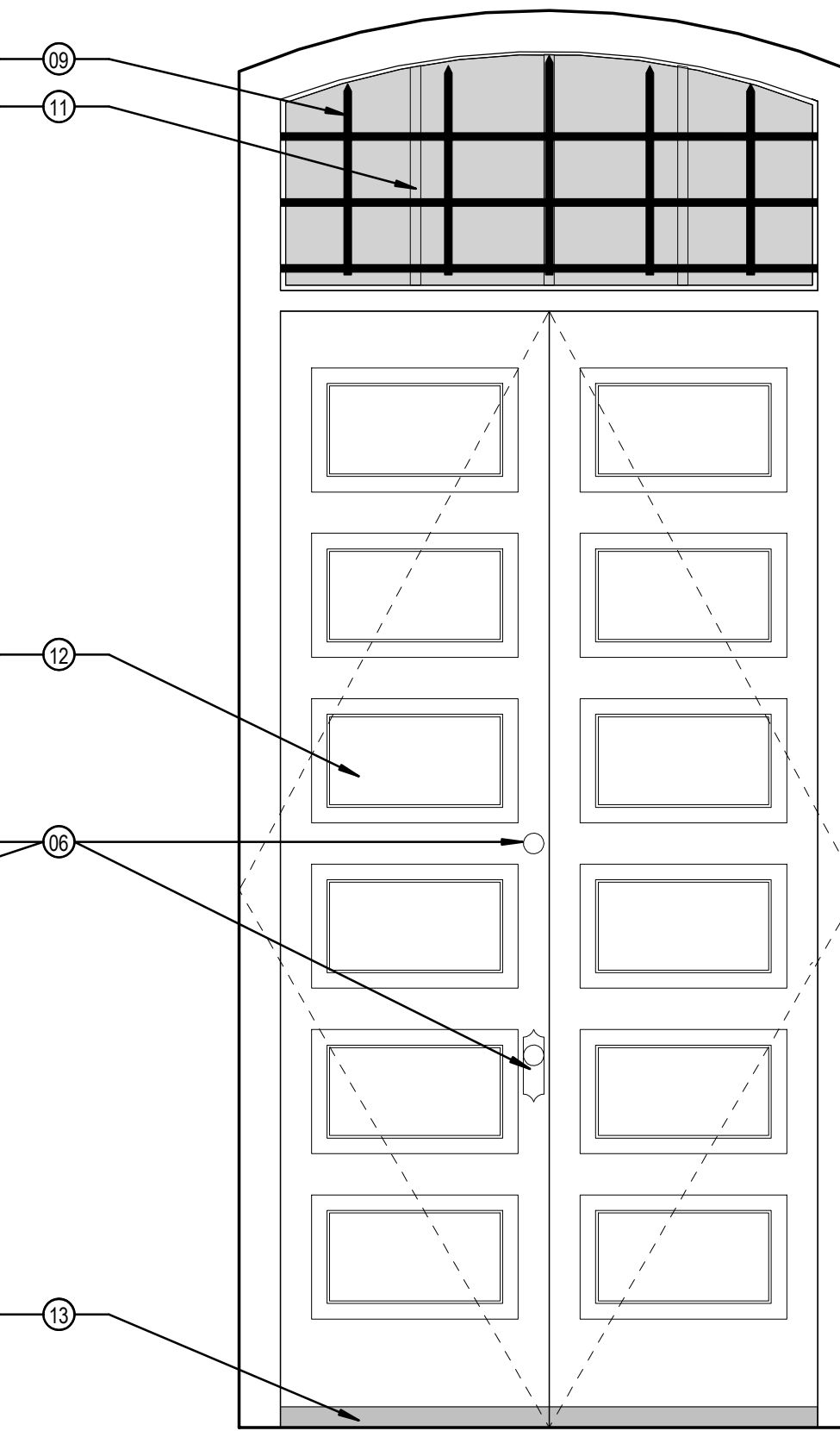


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3/4" = 1'-0"

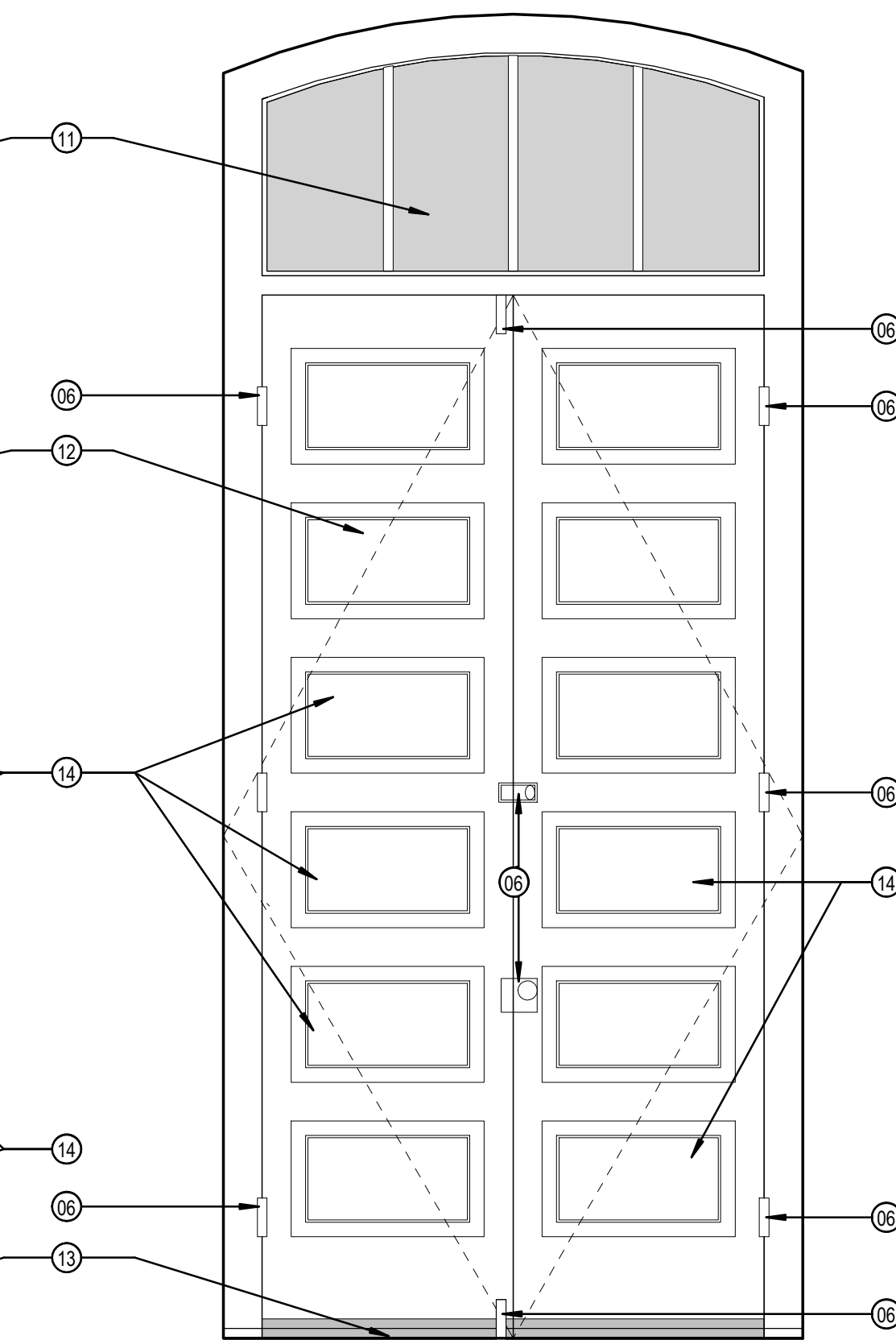
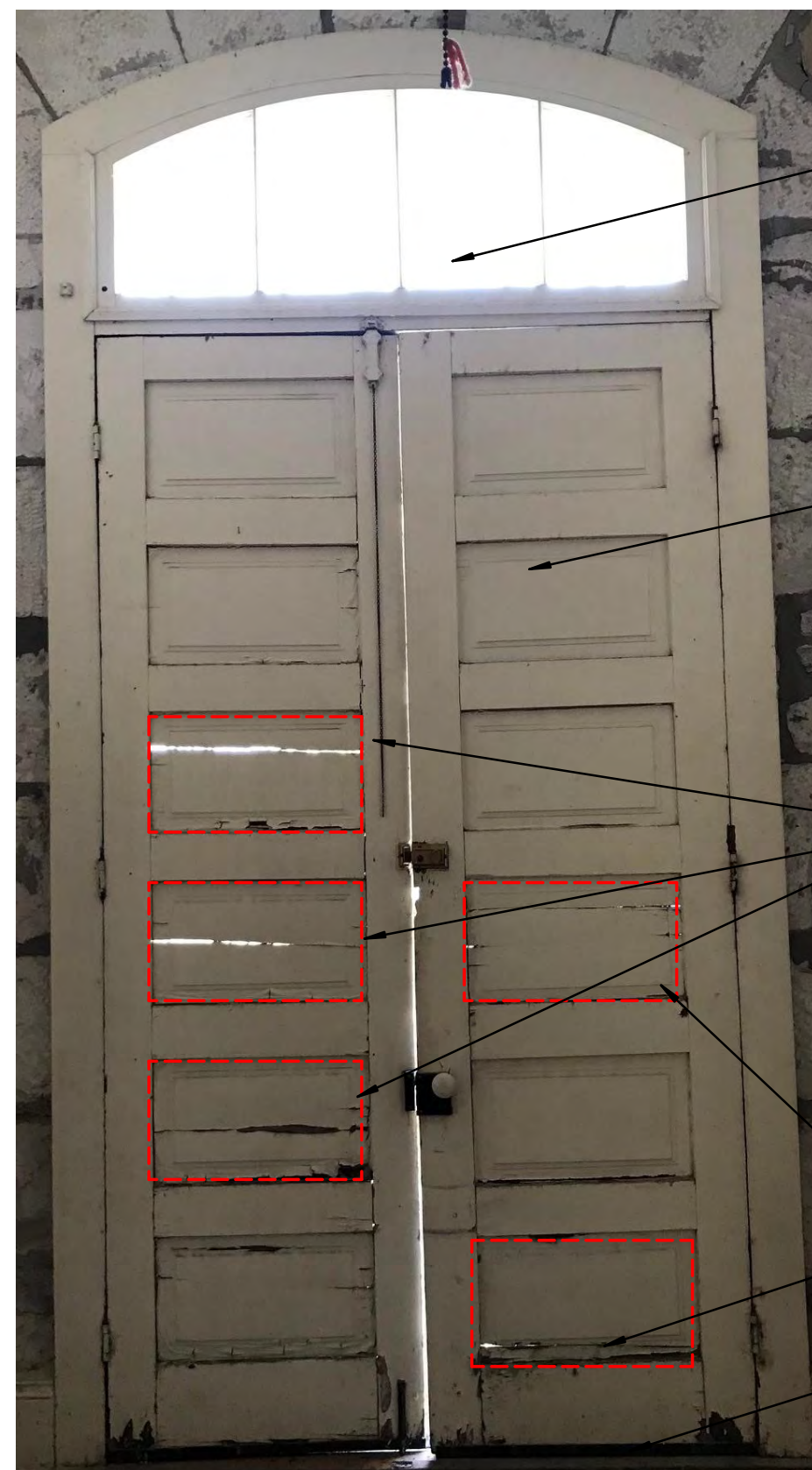
DOOR HARDWARE SET ALTERNATE

NUMBER	HARDWARE SET	COMMENTS
C-100	LS-1	[1,2]
C-101	LS-1	[1,2]
C-102	LS-1	[1,2]
J-100	LS-2	[1,3]

LEGEND	COMMENTS
HARDWARE TYPES	
LS-1: LOCKSET; REFER TO SPECS	[1] REPLACE EXISTING HARDWARE PER SCHEDULE
LS-2: LOCKSET; REFER TO SPECS	[2] PROVIDE MASTER KEY FOR ALL LS-1 HARDWARE
	[3] PROVIDE MASTER KEY FOR ALL LS-2 HARDWARE



3 DOOR J100 - EXTERIOR ELEVATION
3/4" = 1'-0"



4 DOOR J100 - INTERIOR ELEVATION
3/4" = 1'-0"

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2. THESE DOCUMENTS SHOULD NOT BE CONSIDERED AS A SURVEY OF EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR OMISSIONS BETWEEN DOCUMENTS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK AND REQUEST CLARIFICATION.
3. ELEMENTS NOTED WITH KEYNOTES ARE BASED UPON VISUAL OBSERVATIONS AT THE TIME OF SURVEY, CONTRACTOR TO VERIFY ANY ADDITIONAL SUBSEQUENT DAMAGE THAT MAY HAVE OCCURRED. CONTRACTOR TO ASSUME 30% REPLACEMENT OF ELEMENTS IN-KIND FOR EACH WINDOW FOR PURPOSES OF BID AND VERIFY ON-SITE ANY ELEMENTS THAT ARE ROTTED, BROKEN, SPLIT OR MISSING SHALL BE REPLACED IN-KIND.
4. FIELD VERIFY ALL EXISTING DIMENSIONS, ELEVATIONS, & CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
5. ALL DIMENSIONS ARE TO FACE OF MATERIAL UNLESS NOTED OTHERWISE.
6. CHIPS OR GAPS IN WOOD UNDER ONE-INCH MAY BE REPAIRED WITH WOOD FILLER, SAND, PREP & PAINT TO MATCH.
7. ANY BROKEN PANE OF GLASS TO BE REPLACED & REGLAZED IN-KIND.
8. APPLY A CONTINUOUS BEAD OF CLEAR SEALANT AROUND PERIMETER OF EACH WINDOW FRAME.

KEYNOTES

- 01 REPLACE ROTTED COMPONENTS WITHIN FRAME AS NEEDED WITH WOOD, IN-KIND, MATCHING SIZE, SPECIES, AND PROFILE. SAND, PREP, AND PAINT ALL WOOD SURFACES.
- 02 STRIP AND PREPARE STILES, MULLIONS, AND RAILS TO RECEIVE NEW COAT OF PAINT. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SPECIES.
- 03 STRIP AND PREPARE CASING, STOOL, AND APRON TO RECEIVE NEW COAT OF PAINT TO MATCH EXISTING. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES.
- 04 STRIP AND PREPARE WINDOW FRAMES, SILLS, SASHES, AND TRIM TO RECEIVE NEW PAINT. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES.
- 05 REPAIR DAMAGED STILES.
- 06 STRIP AND RECONDITION HARDWARE FOR REUSE.
- 07 REPLACE MISSING CASING WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES.
- 08 REPLACE BROKEN GLASS, REPLACE WITH NEW TEMPERED GLASS IN-KIND.
- 09 SODA BLAST CLEAN ALL JAIL WINDOW BARS DOWN TO BARE METAL. THEN APPLY EPOXY PRIMER, THEN PAINT.
- 10 STRIP AND PREPARE INTERIOR WINDOW SCREEN TO RECEIVE NEW PAINT. PATCH/REPAIR CRACKS AND HOLES WITH PUTTY. ANY ROTTED COMPONENTS TO BE REPLACED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES. REPLACE GLASS PANE IN-KIND.
- 11 REPAIR EXISTING TRANSOM FRAME / GLASS; REMOVE EXISTING PANE. REPLACE WITH NEW TEMPERED GLASS, IN-KIND. REPLACE DAMAGED WOOD COMPONENTS, IN-KIND, AS NEEDED. SAND, PREP, AND PAINT ALL WOOD SURFACES.
- 12 REPAIR / REPLACE DAMAGED DOOR COMPONENTS AS NEEDED WITH WOOD, IN-KIND, MATCHING SIZE AND SPECIES. SAND, PREP, AND PAINT ALL WOOD SURFACES.
- 13 REPLACE DAMAGED, DETERIORATED, OR MISSING WEATHERSTRIPPING AND INSTALL ADA METAL THRESHOLD.
- 14 DAMAGED RECESSED PANELS TO BE REPLACED IN-KIND TO MATCH EXISTING IN SIZE AND SPECIES. SAND, PREP, AND PAINT NEW WOOD SURFACES TO MATCH EXISTING WOOD SURFACES.
- 15 CONSTRUCT REPLICA WINDOW MATCH ADJACENT WOOD WINDOWS INKIND, SIZE AND SPECIES.
- 16 NEW TEMPERED GLASS, MATCH EXISTING IN-KIND.
- 17 NEW HARDWARE, MATCH EXISTING IN-KIND.
- 18 DEMO PLYWOOD AND DUCT WORK TO REVEAL JAIL BARS; CAREFULLY REMOVE ALL EXPOSED SPRAY FOAM AND MASTIC FROM MASONRY